

4131 CHAIN BRIDGE ROAD  
DAVIES PROPERTY  
BOARD OF ARCHITECTURAL REVIEW  
AND RE-ZONING SUBMISSION  
CITY OF FAIRFAX, VIRGINIA

APRIL 15th - 2025

PROPERTY OWNER / APPLICANT

THE HILL, A DAVIES FAMILY LLC  
C/O DAVIES & DAVIES  
5531 LEE HWY  
SUITE 206  
ARLINGTON, VA 22207

DEVELOPER

PARADIGM DEVELOPMENT COMPANY  
1415 NORTH COURTHOUSE ROAD SUITE 600  
ARLINGTON, VA 22201-2909  
PH. 703-527-7500  
CONTACT: MICHELINE CASTAN-SMITH

LEGAL COUNSEL

BEAN KINNEY & KORMAN  
2311 WILSON BLVD SUITE 500  
ARLINGTON, VA 22201  
PH. 703-525-4000  
CONTACT: DAVID HOUSTON

ARCHITECT/PLANNER

LESSARD DESIGN  
8521 LEESBURG PIKE, SUITE 700  
VIENNA, VA 22182  
PH. 571-830-1869  
CONTACT: ULISES MONTES DE OCA

ENGINEER

URBAN, LTD.  
4200 D TECHNOLOGY COURT  
CHANTILLY, VA 20151  
PH. 703-642-2306  
CONTACT: CLAYTON TOCK

LANDSCAPE ARCHITECT

URBAN, LTD.  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VA 22003  
PH. 703-642-8080  
CONTACT: JOHN LIGHTLE

TRAFFIC ENGINEER

GOROVE SLADE ASSOCIATES  
15125 WASHINGTON STREET SUITE 316  
HAYMARKET, VA 20169  
PH. 571-248-0992  
CONTACT: SASHA REDMON

Paradigm

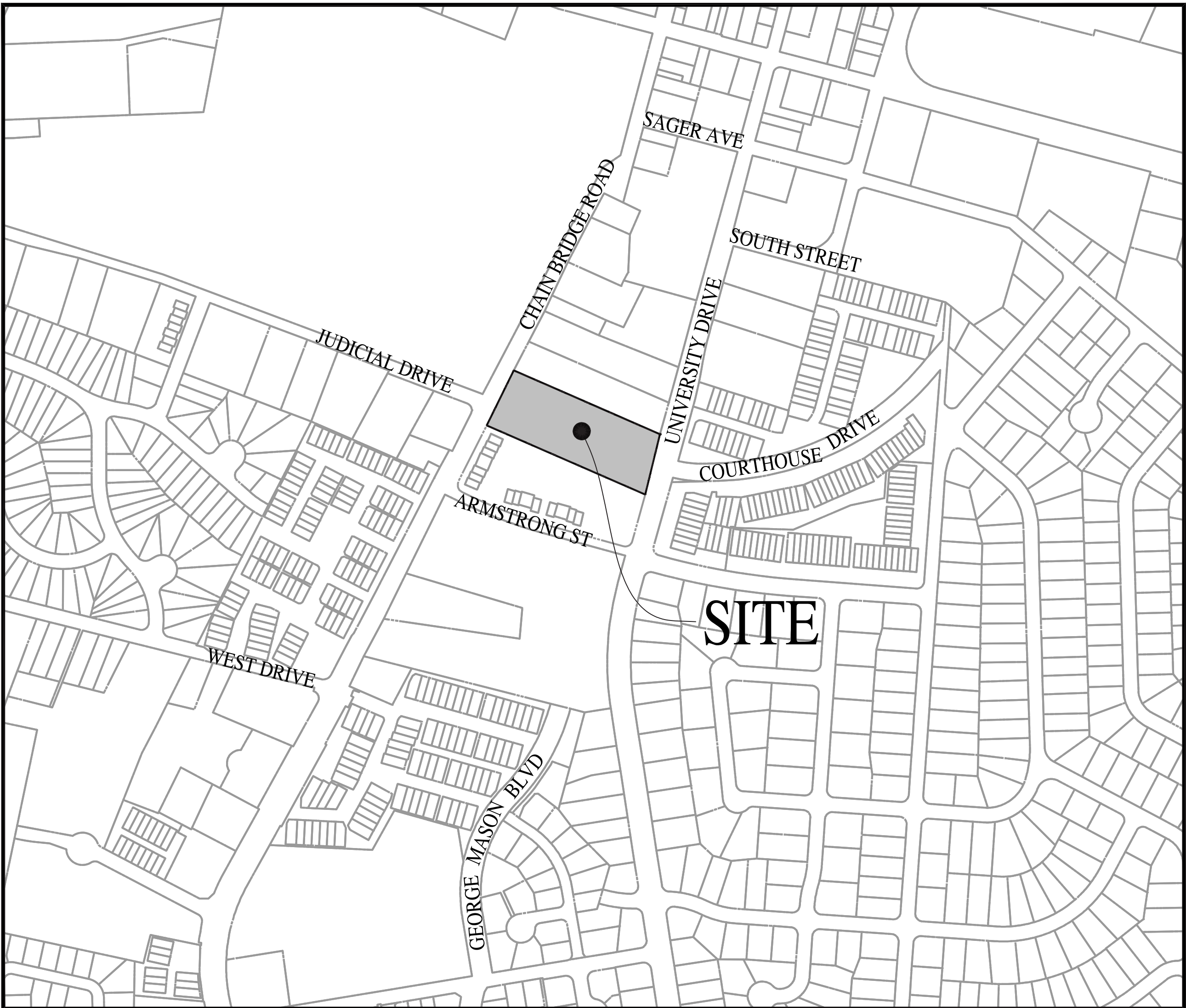
BEAN KINNEY & KORMAN  
ATTORNEYS

lessard  
DESIGN

urban

urban

GOROVE SLADE  
Transportation Planners and Engineers



VICINITY MAP

SCALE: 1"=300'

INDEX

A.01	EXISTING CONDITIONS
A.02	ILLUSTRATIVE SITE PLAN
A.03	PHOTOS OF EXISTING-1
A.04	PHOTOS OF EXISTING-2
A.05	PHOTOS OF EXISTING-3
A.06	PHOTOS OF EXISTING-4
A.07	3D VIEW-1
A.08	3D VIEW-2
A.09	3D VIEW-3
A.10	3D VIEW-4
A.11	PHOTOS OF ADJOINING SITES
A.12	B3 - GARAGE PLAN
A.13	B2 - GARAGE PLAN
A.14	B1-R1 FLOOR PLAN
A.15	R1-R2 FLOOR PLAN
A.16	R2-R3 FLOOR PLAN
A.17	TYPICAL 1 - TYPICAL 2 FLOOR PLAN
A.18	R5 FLOOR PLAN
A.19	ROOF PLAN
A.20	GROUND FLOOR MIXED USE
A.21	SETBACK FROM PROPERTY LINE DIAGRAM
A.22	SIGHT DISTANCE DIAGRAM
A.23	BUILDING SECTION
A.24	CEILING HEIGHT COMPLIANCE
A.25	SIGHT LINE SECTIONS
A.26	PARAPET AND HEIGHT PROJECTION DIAGRAMS
A.27	COMPOSITION EXHIBIT - BUILDING A
A.28	COMPOSITION EXHIBIT - BUILDING B
A.29	COMPOSITION EXHIBIT - SITE ELEVATIONS
A.30	BUILDING A - ELEVATIONS
A.31	BUILDING B - ELEVATIONS
A.32	SITE ELEVATIONS
A.33	ENLARGED ELEVATIONS
A.34	SIGNAGE EXHIBIT-1
A.35	SIGNAGE EXHIBIT-2
A.36	RETAIL PARKING WAYFINDING CONCEPT
A.37	ARCHITECTURAL PALETTES
A.38	MATERIAL BOARD-1
A.39	MATERIAL BOARD-2

COVER SHEET

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA

PARADIGM DEVELOPMENT

APR.15, 2025  
PDM.015

A.00

lessard  
DESIGN

8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P:571.830.1800 | F:571.830.1801 | WWW.LESSARDDDESIGN.COM

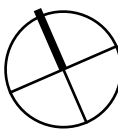
©2025 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COMMON-LAW COPYRIGHT, AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY OTHER FORM OR MATTER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN INC.





\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.

## EXISTING CONDITIONS











1) CHAINBRIDGE- LOOKING NORTH



2) CHAINBRIDGE- SOUTH PROPERTY- 1



3) CHAINBRIDGE- SOUTH PROPERTY- ACROSS ST- 1



4) CHAINBRIDGE- SOUTH PROPERTY- 2



5) CHAINBRIDGE- NORTH PROPERTY- ACROSS ST



6) CHAINBRIDGE- NORTH PROPERTIES- 1



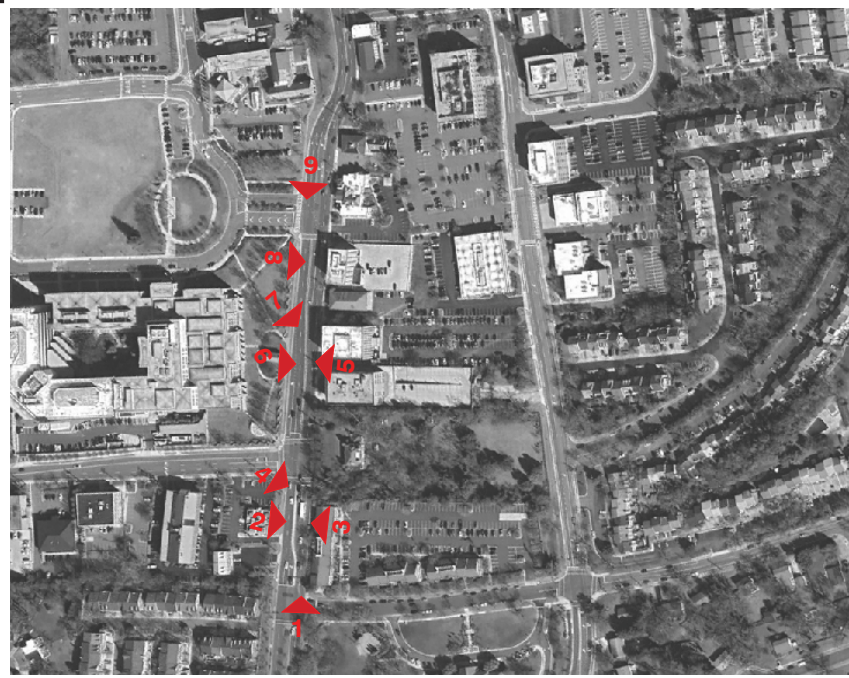
7) SITE- NW LOOKING SE



8) CHAINBRIDGE- NORTH PROPERTIES- 2



9) CHAINBRIDGE- LOOKING SOUTH



KEY PLAN

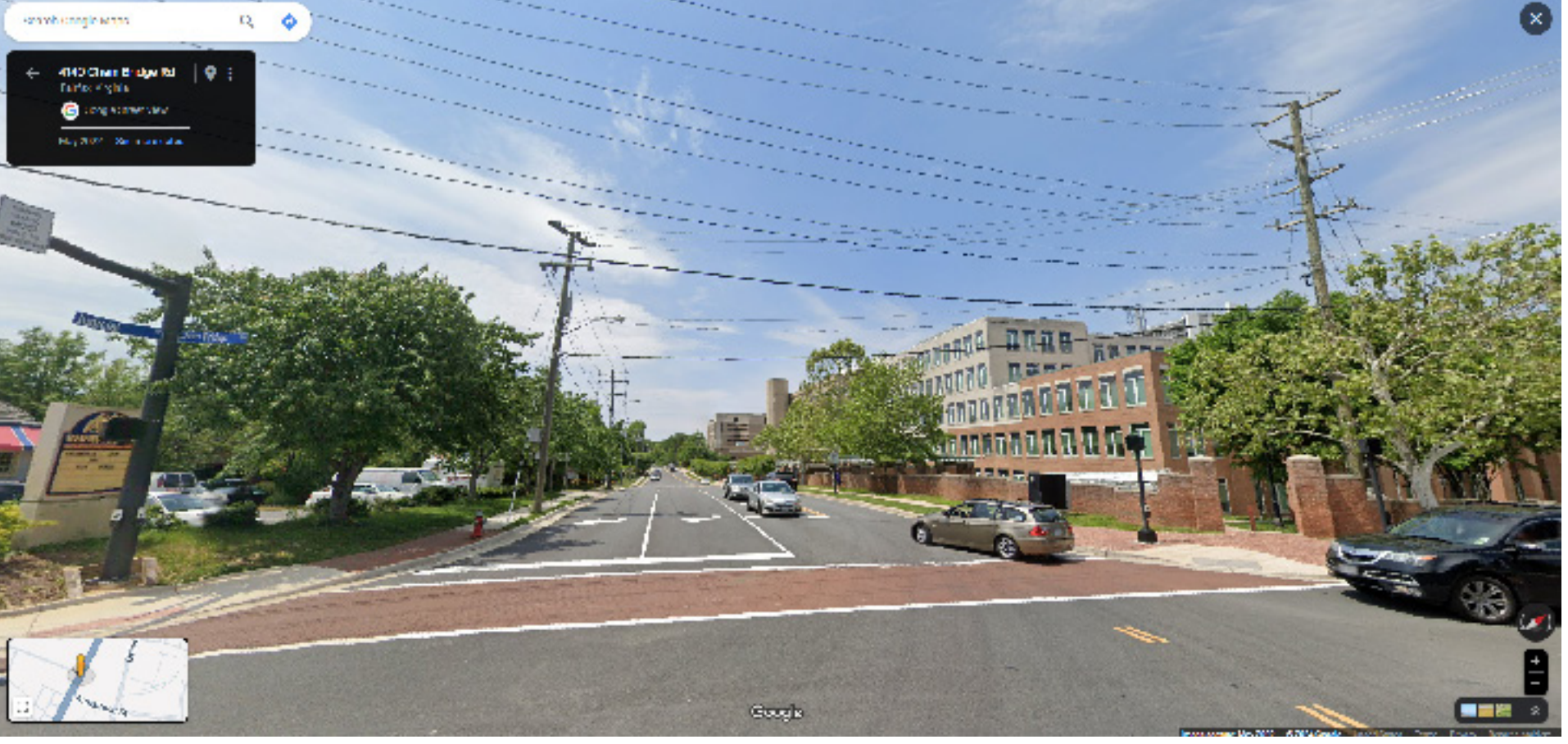




1) SITE- SW LOOKING NE



2) CHAINBRIDGE AND JUDICIAL DR- 1



3) JUDICIAL DR- LOOKING WEST



4) JUDICIAL DR- 1



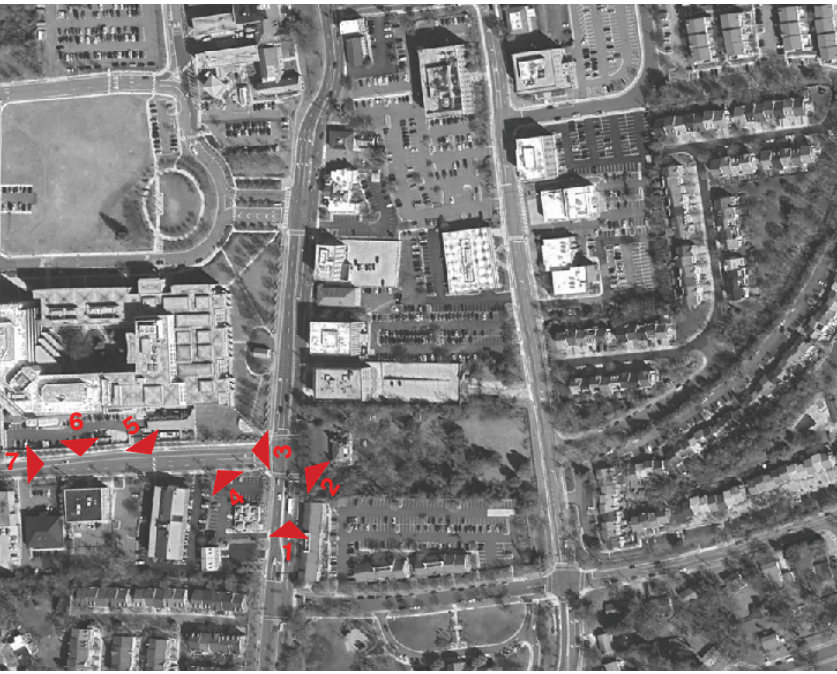
5) JUDICIAL DR- 2



6) JUDICIAL DR- 3



7) JUDICIAL DR- LOOKING EAST



KEY PLAN





1) UNIVERSITY DR- LOOKING SOUTH- 1



2) UNIVERSITY DR- LOOKING SOUTH- 2



3) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 4



4) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 3



5) UNIVERSITY DR- LOOKING SOUTH- 3



6) UNIVERSITY DR- LOOKING NORTH- 2



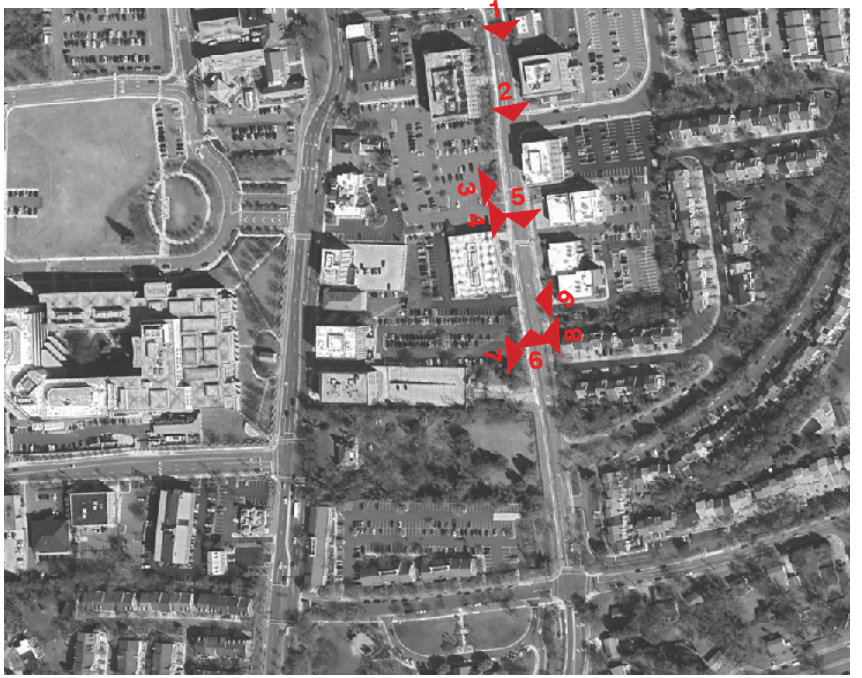
7) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 2



8) UNIVERSITY DR- NORTH PROPERTIES 1



9) UNIVERSITY DR- NORTH PROPERTIES 2



KEY PLAN





1) UNIVERSITY DR- SOUTH PROPERTIES- ACROSS ST- 2



4) UNIVERSITY DR- SOUTH PROPERTIES 1



7) SITE- SE LOOKING NW



2) UNIVERSITY DR- LOOKING NORTH- 1



5) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 1



8) BRECKENRIDGE LN LOOKING EAST



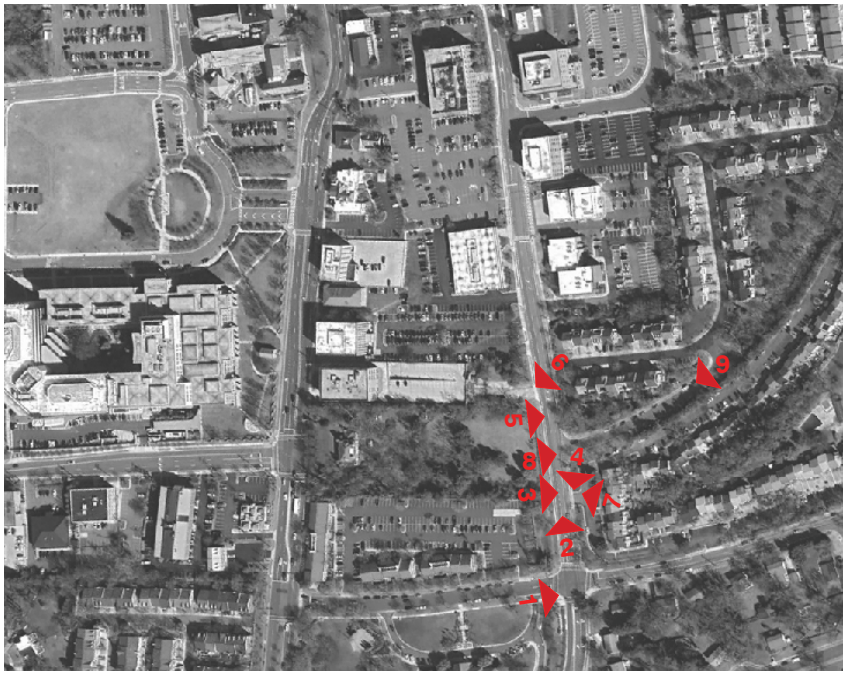
3) UNIVERSITY DR- SOUTH PROPERTIES- ACROSS ST- 1



6) SITE- NE LOOKING SW

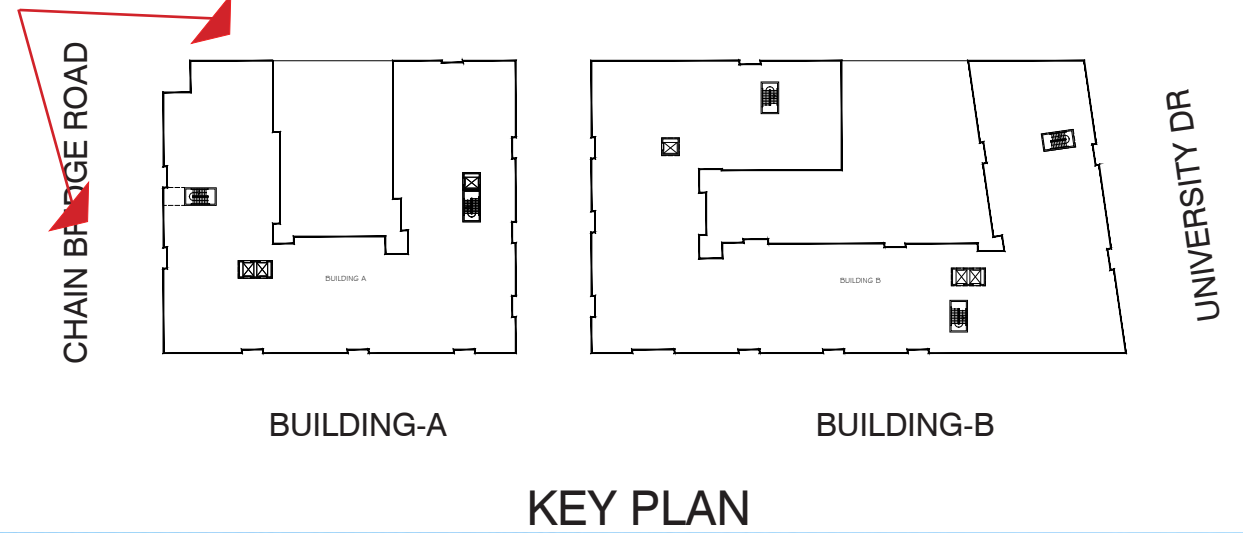


9) BRECKENRIDGE LN LOOKING WEST



KEY PLAN





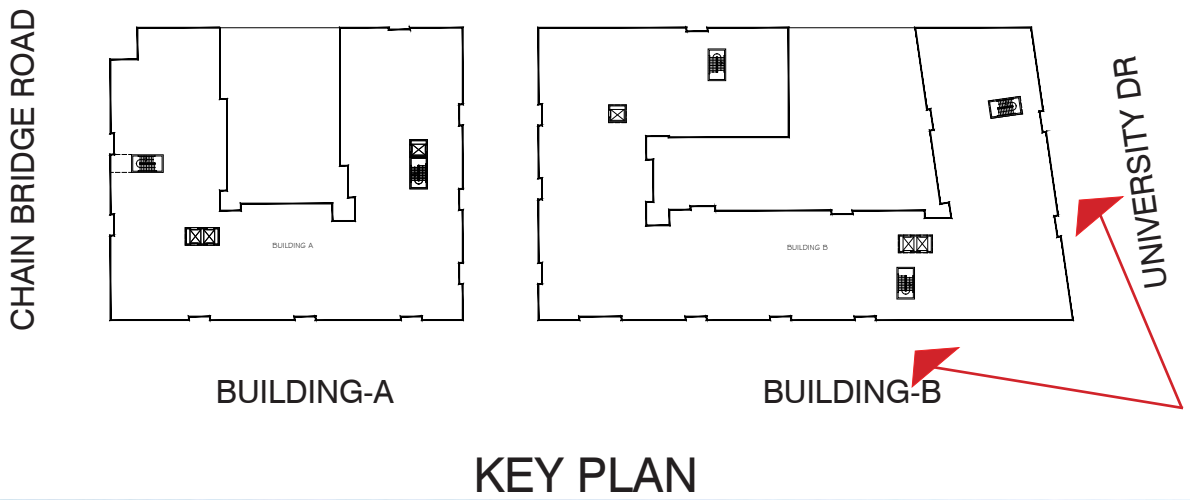
\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
\*NOTE: LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
\*NOTE: REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.





\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
\*NOTE: LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
\*NOTE: REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.





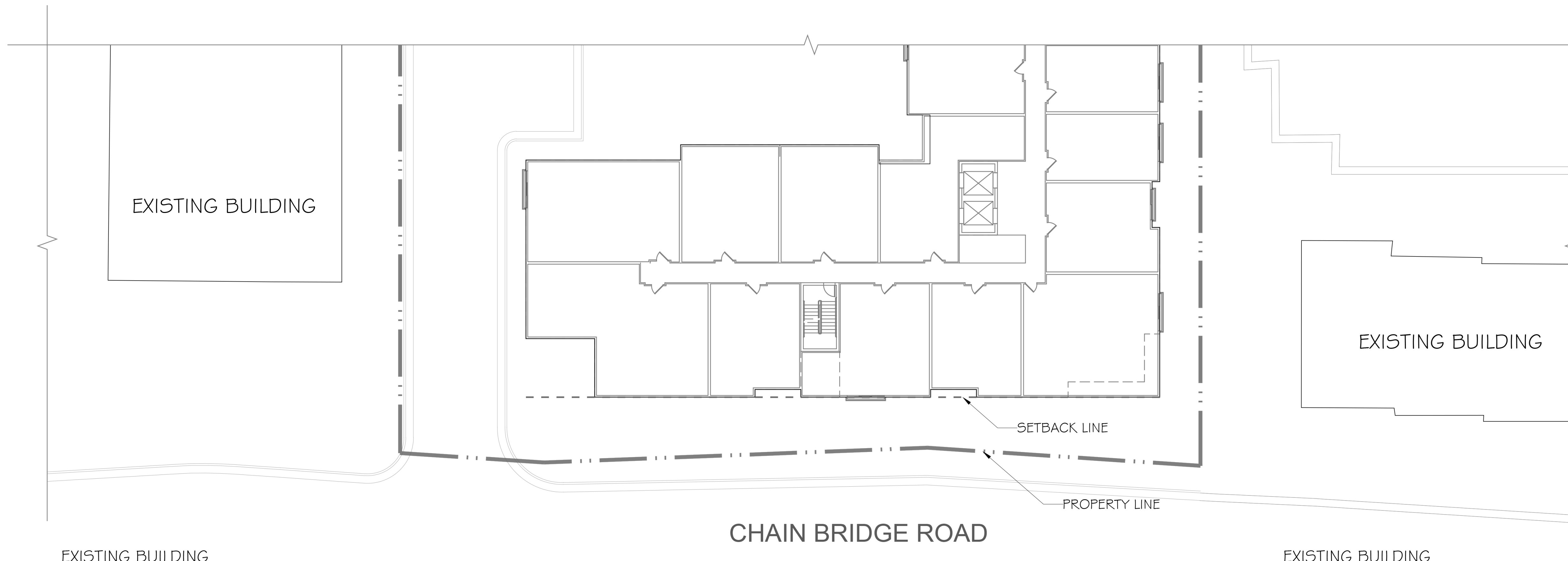
\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
\*NOTE: LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
\*NOTE: REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.





\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
\*NOTE: LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
\*NOTE: REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.





EXISTING BUILDING  
CHAINBRIDGE RD

PROPOSED BUILDING A

EXISTING BUILDING  
CHAINBRIDGE RD



1A) CHAINBRIDGE- NORTH PROPERTIES

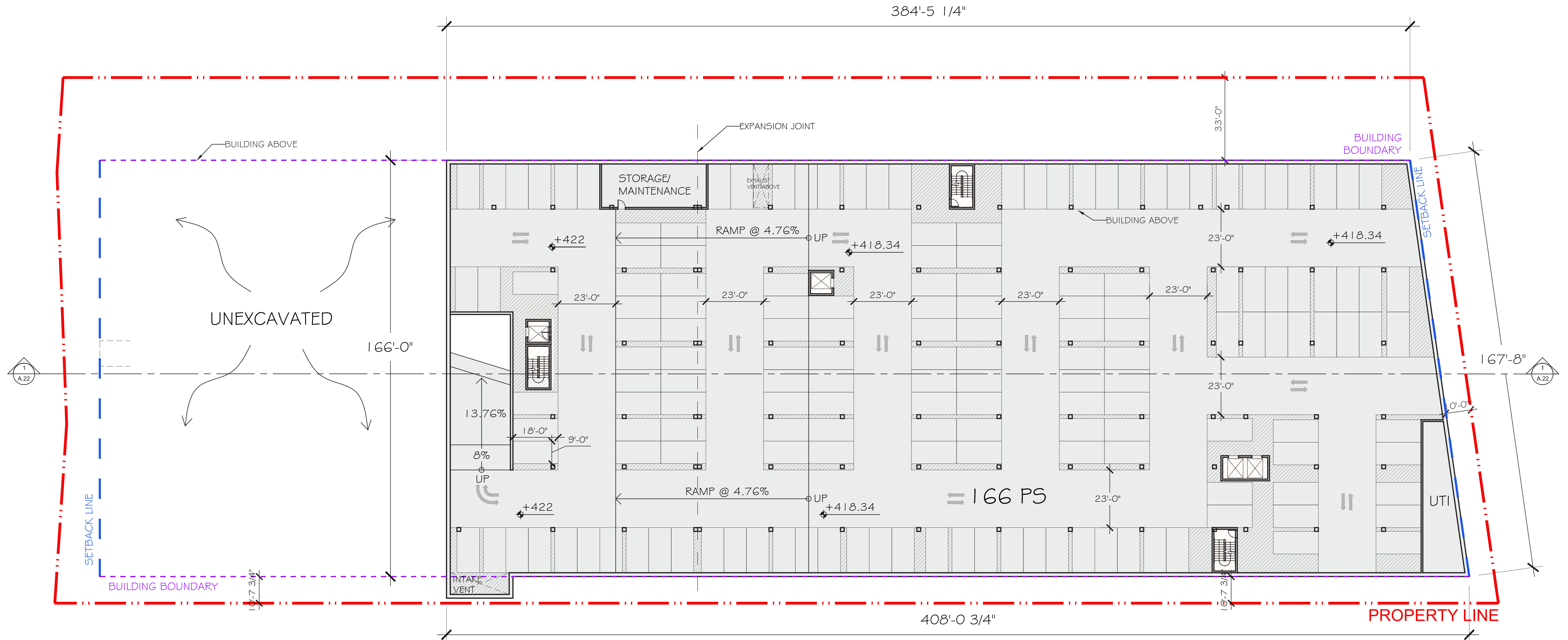
1B) CHAINBRIDGE- PROPOSED BUILDING

1C) CHAINBRIDGE-SOUTH PROPERTIES



KEY PLAN





RESIDENTIAL AREA (BUILDING A) = 280 GSF



RESIDENTIAL AREA (BUILDING B) = 684 GSF

PARKING SPACES  
STANDARD PS = 166



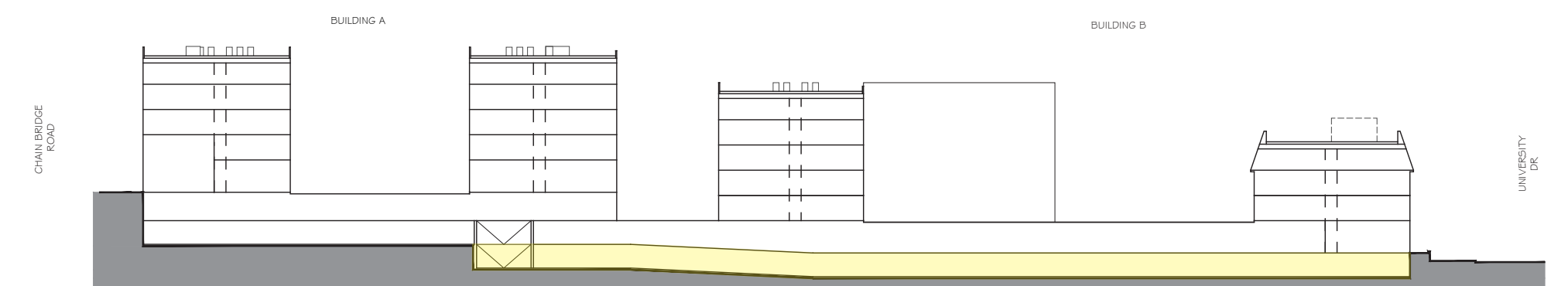
GARAGE/PARKING AREA = 64,588 GSF

\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
REFER TO CIVIL FOR TRUCK MANEUVERING.



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDDESIGN.COM

## B3 - GARAGE PLAN



KEY SECTION

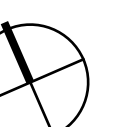
4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

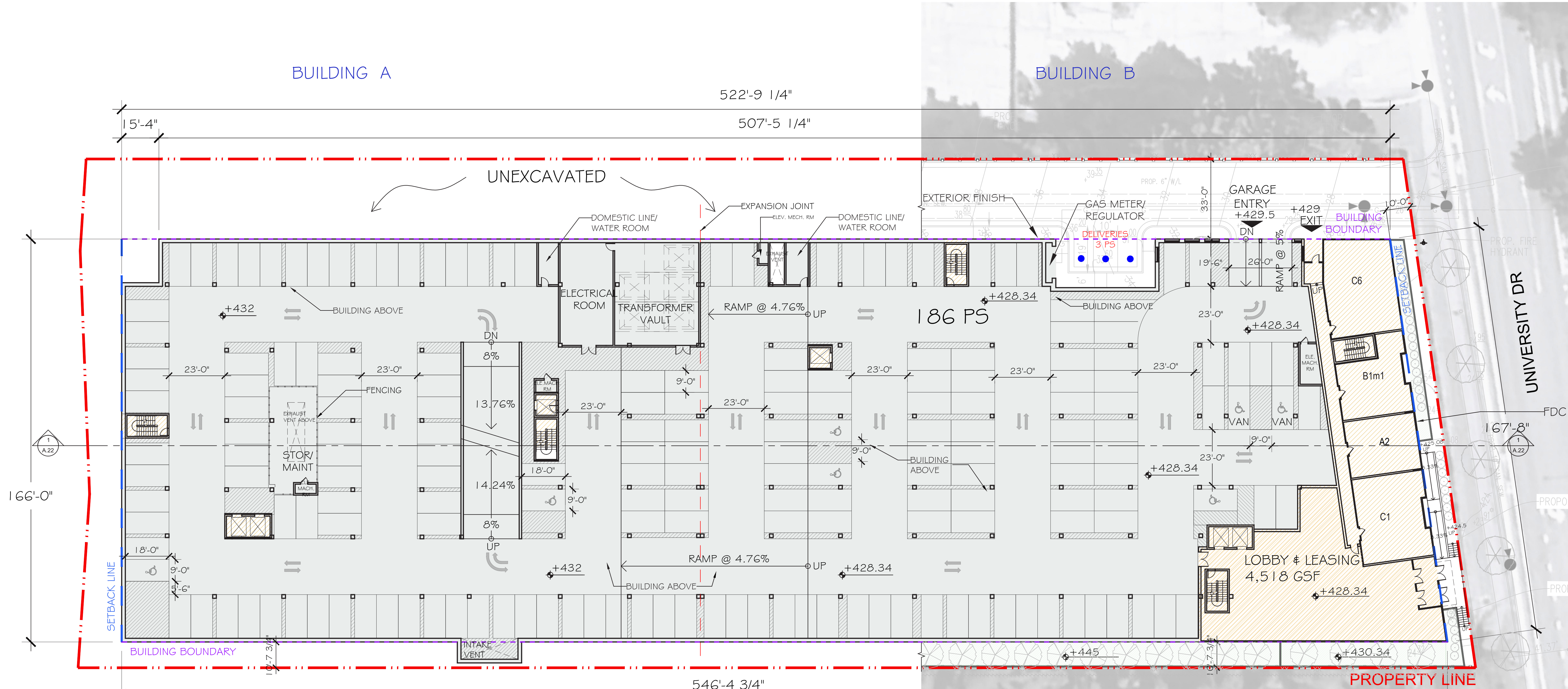
APR. 15, 2025  
PDM.015

0' 10' 20' 40'  
SCALE: 1" = 20' (@ 22"x34")

# A.12







● = PICK UP/DROP OFF AND SHORT TERM DELIVERY

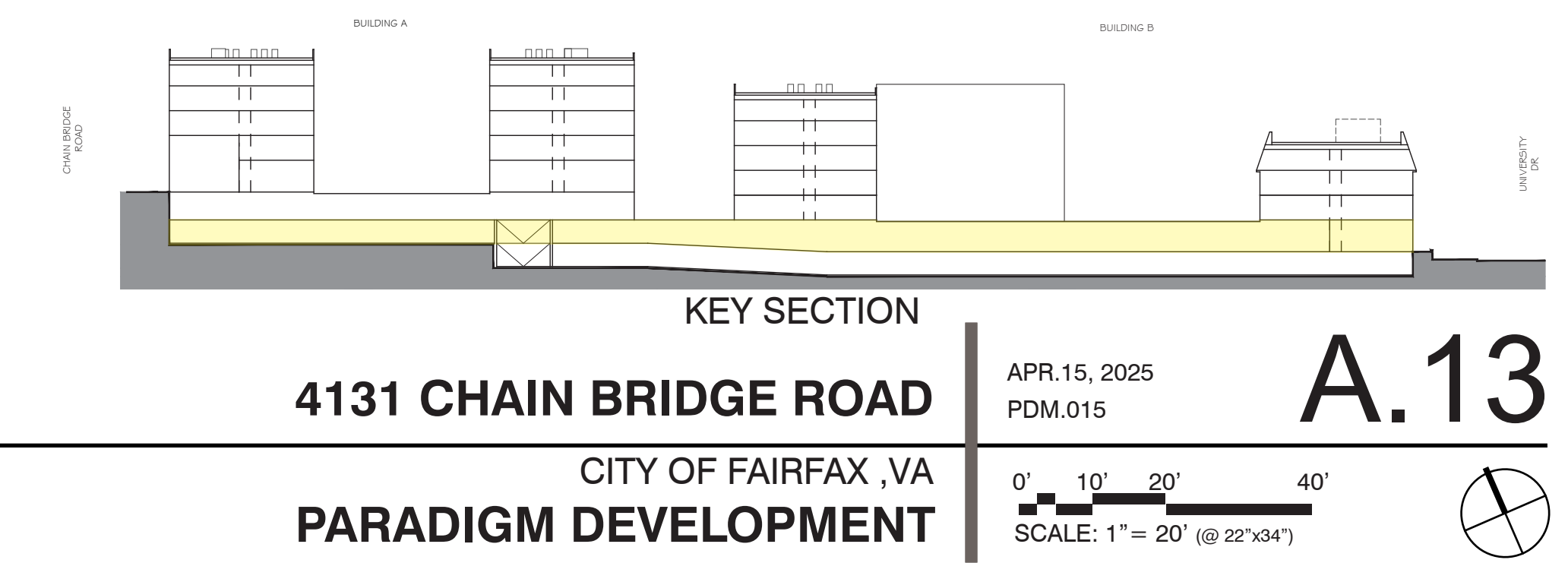
 GROUND FLOOR AREA (BUILDING A) = 668 GSF

PARKING SPACES  
STANDARD PS = 178  
HANDICAP PS = 5  
VAN = 2  
TOTAL = 186

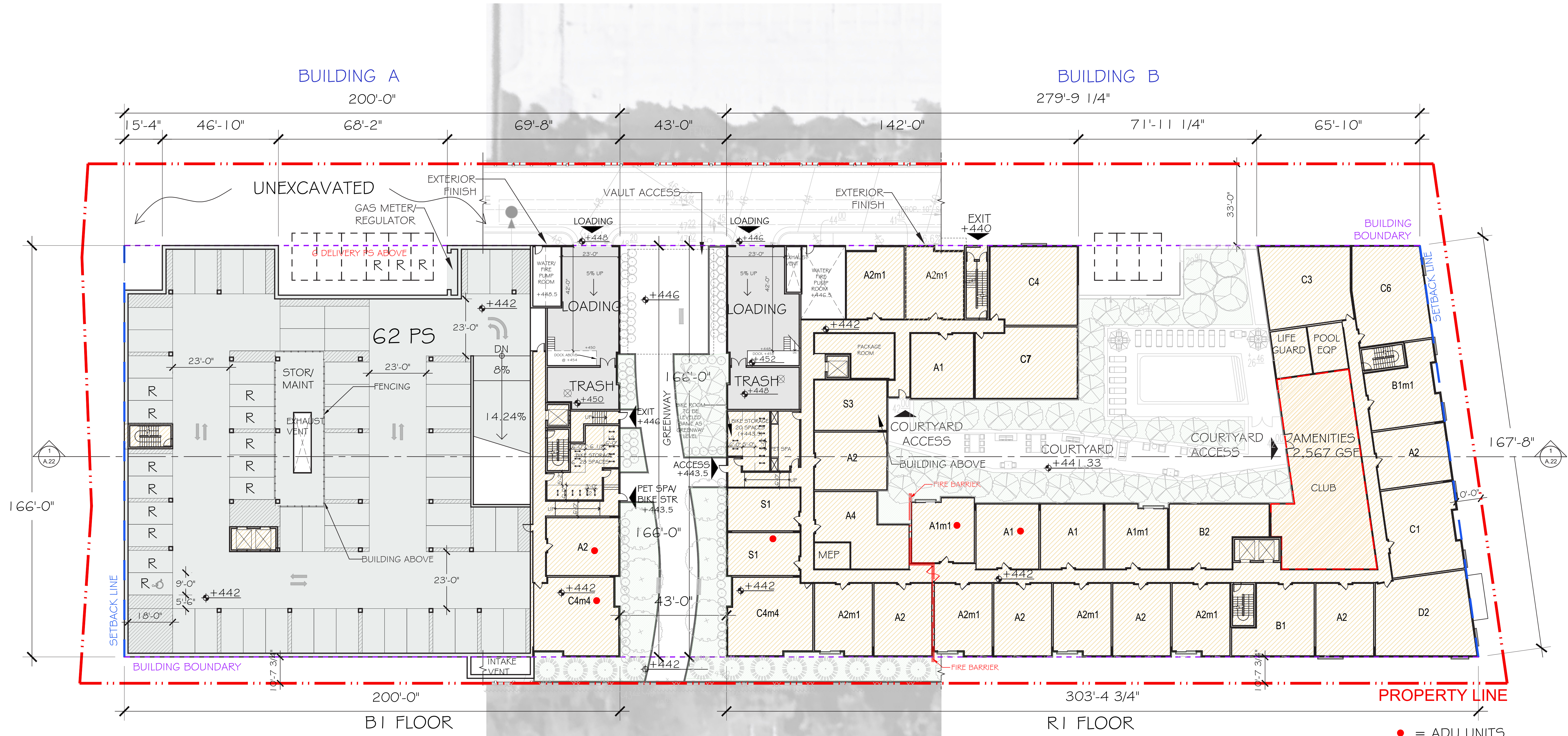
 GROUND FLOOR AREA (BUILDING B) = 9,570 GSF  
 GARAGE/PARKING AREA = 77,483 GSF

\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
REFER TO CIVIL FOR TRUCK MANEUVERING.

## B2 - GARAGE PLAN







GROUND FLOOR AREA (BUILDING A) = 4,144 GSF  
GARAGE/PARKING AREA = 24,440 GSF  
R = RETAIL PARKING (16 PS)

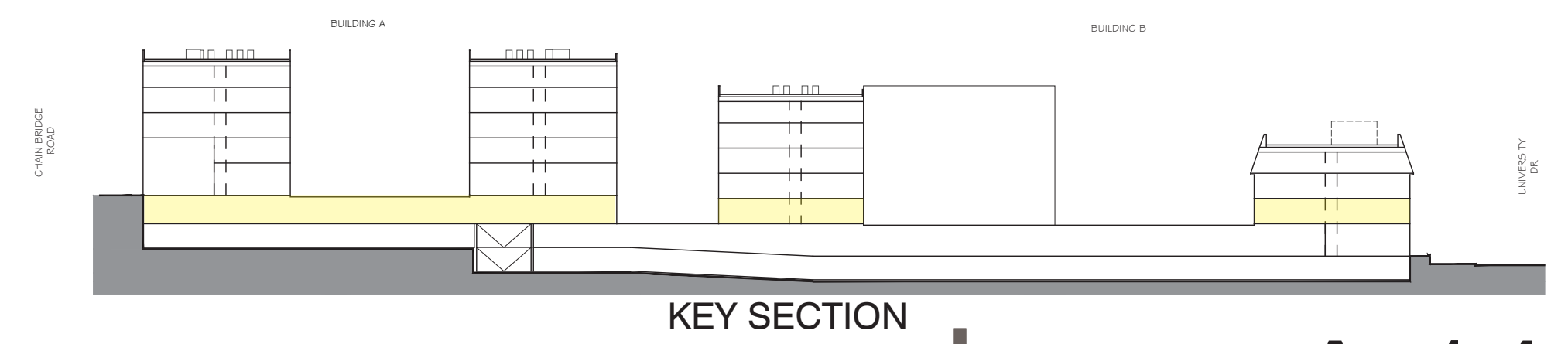
PARKING SPACES  
STANDARD PS = 61  
HANDICAP PS = 1  
TOTAL = 62

GROUND FLOOR AREA (BUILDING B) = 34,084 GSF

• = ADU UNITS

\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
REFER TO CIVIL FOR TRUCK MANEUVERING.

## B1 - R1 FLOOR PLAN

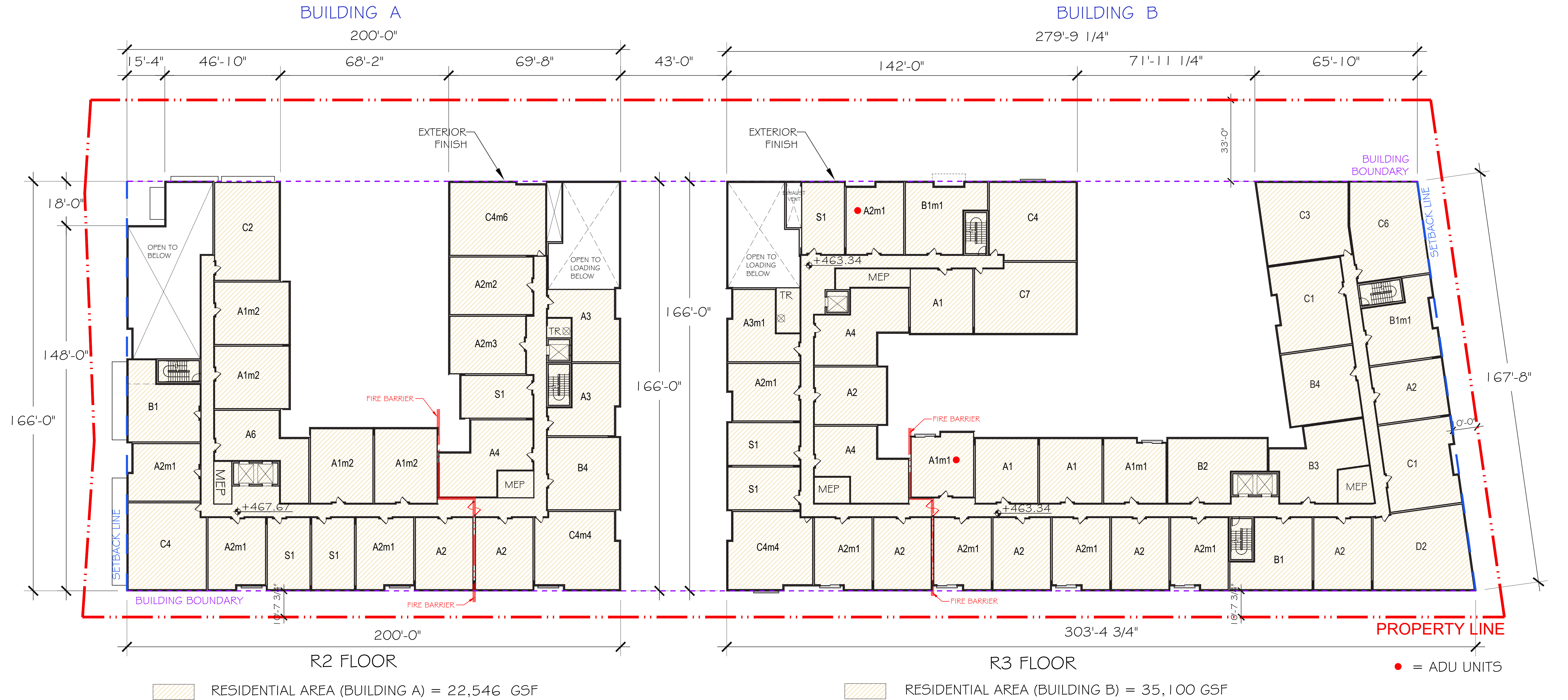


4131 CHAIN BRIDGE ROAD  
CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT



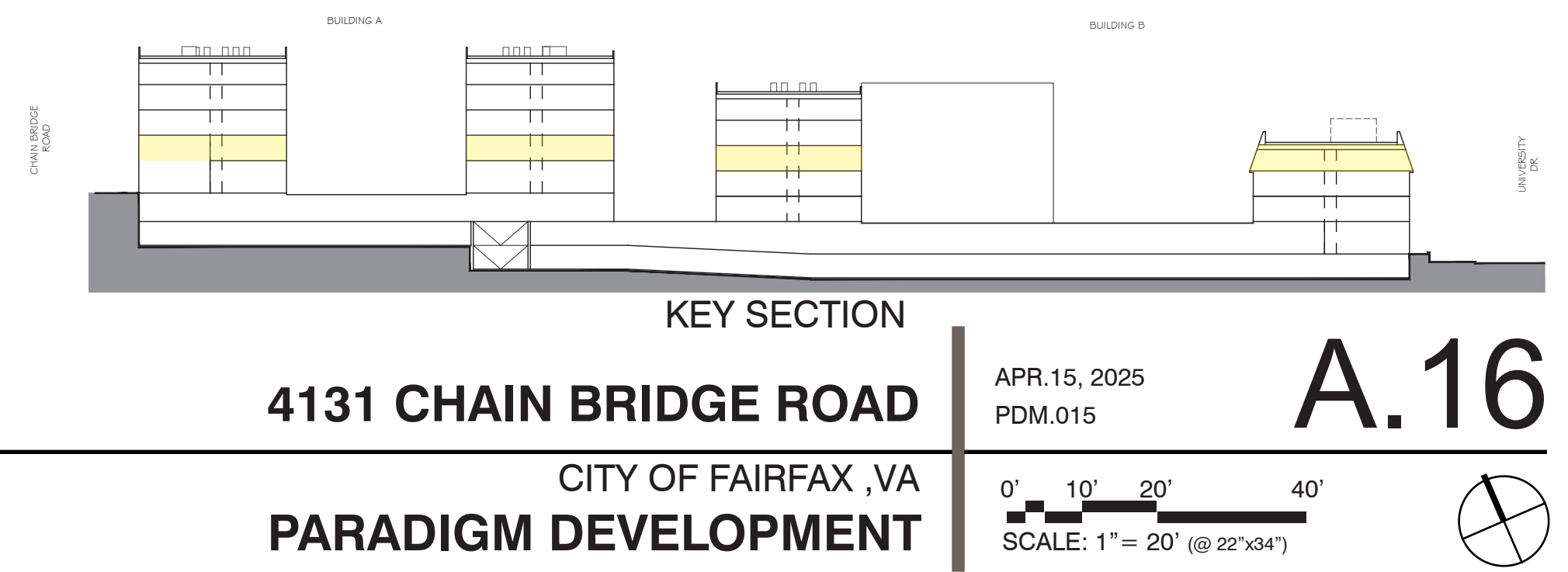




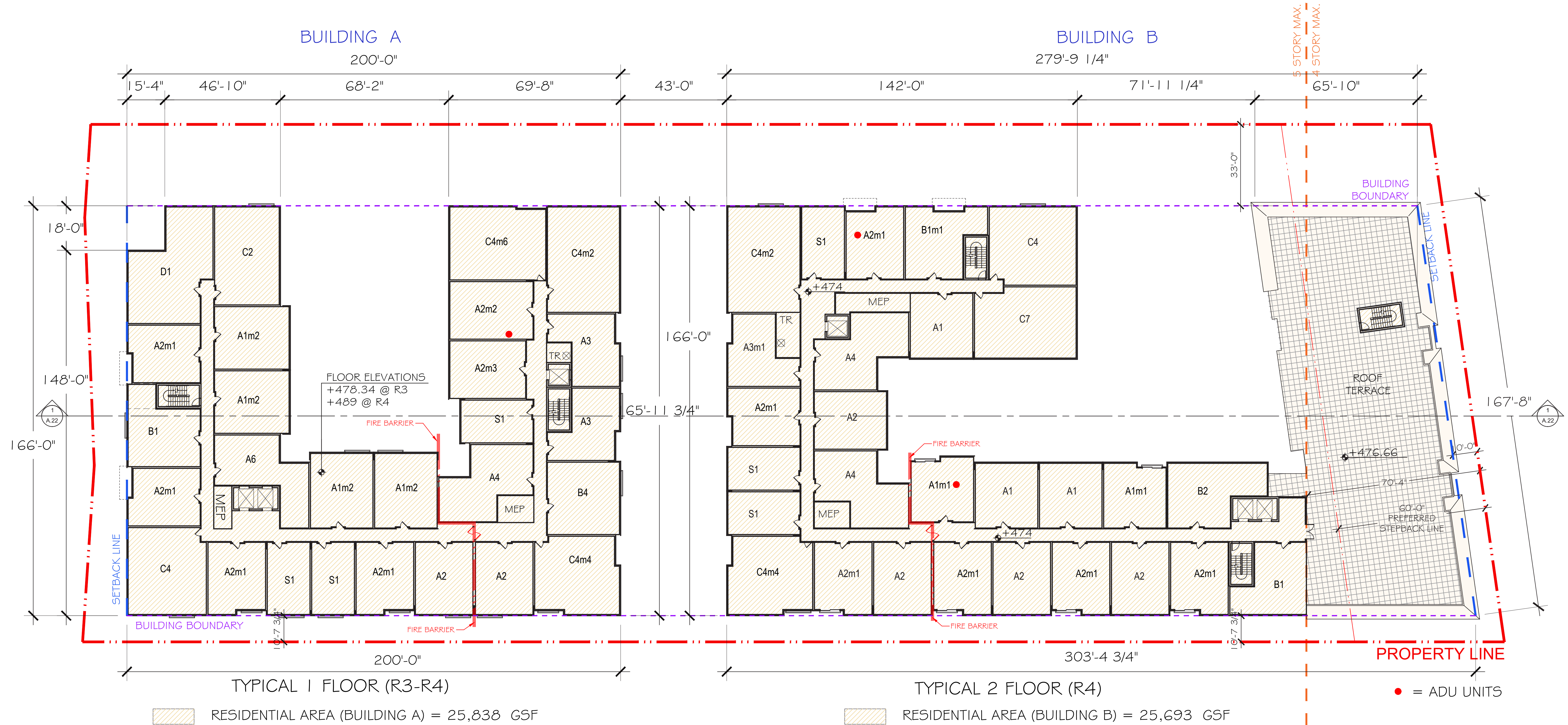


\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
REFER TO CIVIL FOR TRUCK MANEUVERING.

## R2 - R3 FLOOR PLAN







\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
REFER TO CIVIL FOR TRUCK MANEUVERING.

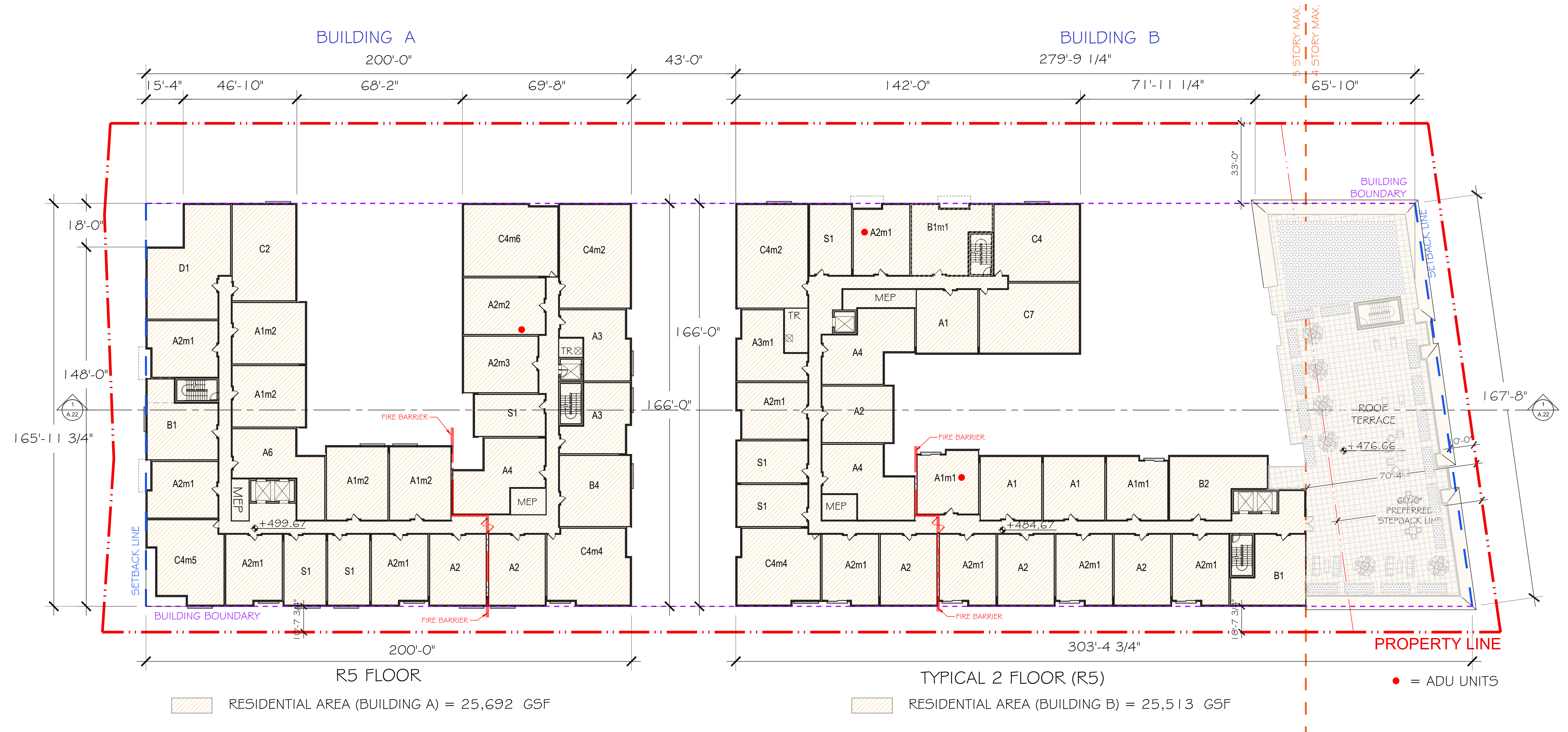


8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDESIGN.COM

# TYPICAL 1 - TYPICAL 2 FLOOR PLAN

©2025 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY OTHER FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN INC.





\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
REFER TO CIVIL FOR TRUCK MANEUVERING.

# R5 FLOOR PLAN

**KEY SECTION**

**4131 CHAIN BRIDGE ROAD**

**CITY OF FAIRFAX, VA**

**PARADIGM DEVELOPMENT**

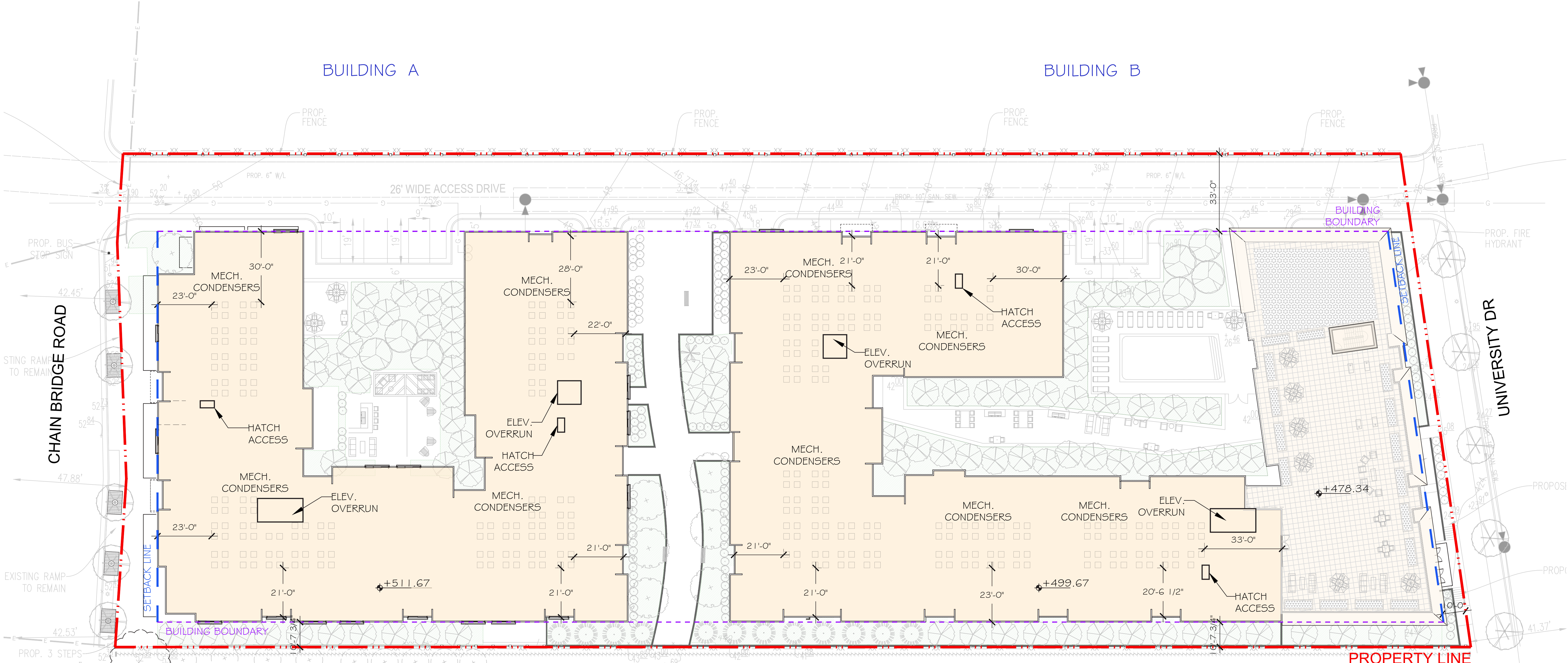
APR. 15, 2025  
PDM.015

**A.18**

0' 10' 20' 40'

SCALE: 1" = 20' (@ 22"x34")





ROOF PLAN

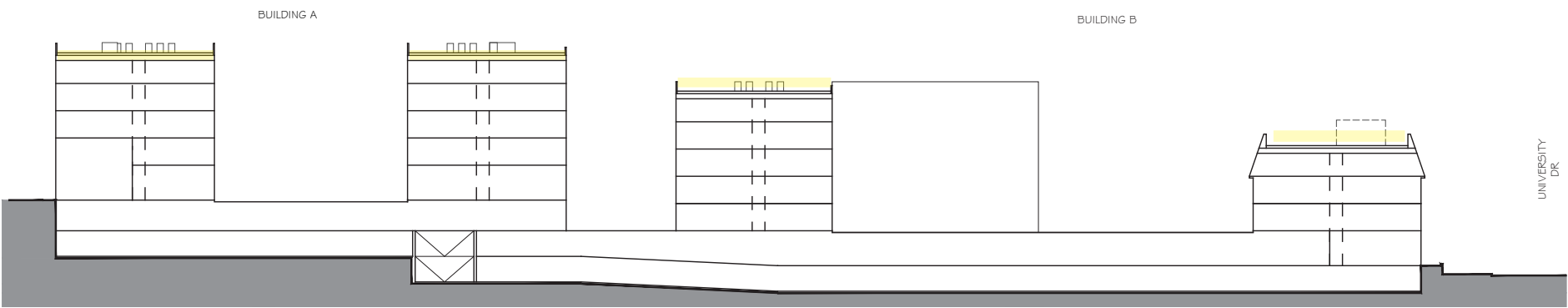
NEAREST POINT: 21'-0"  
(PARAPET TO EQUIPMENT, HATCH, OR ELEVATOR OVERRUN)

\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
REFER TO CIVIL FOR TRUCK MANEUVERING.



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDDESIGN.COM

ROOF PLAN



KEY SECTION

4131 CHAIN BRIDGE ROAD

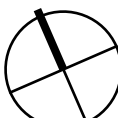
CITY OF FAIRFAX, VA

PARADIGM DEVELOPMENT

APR. 15, 2025  
PDM.015

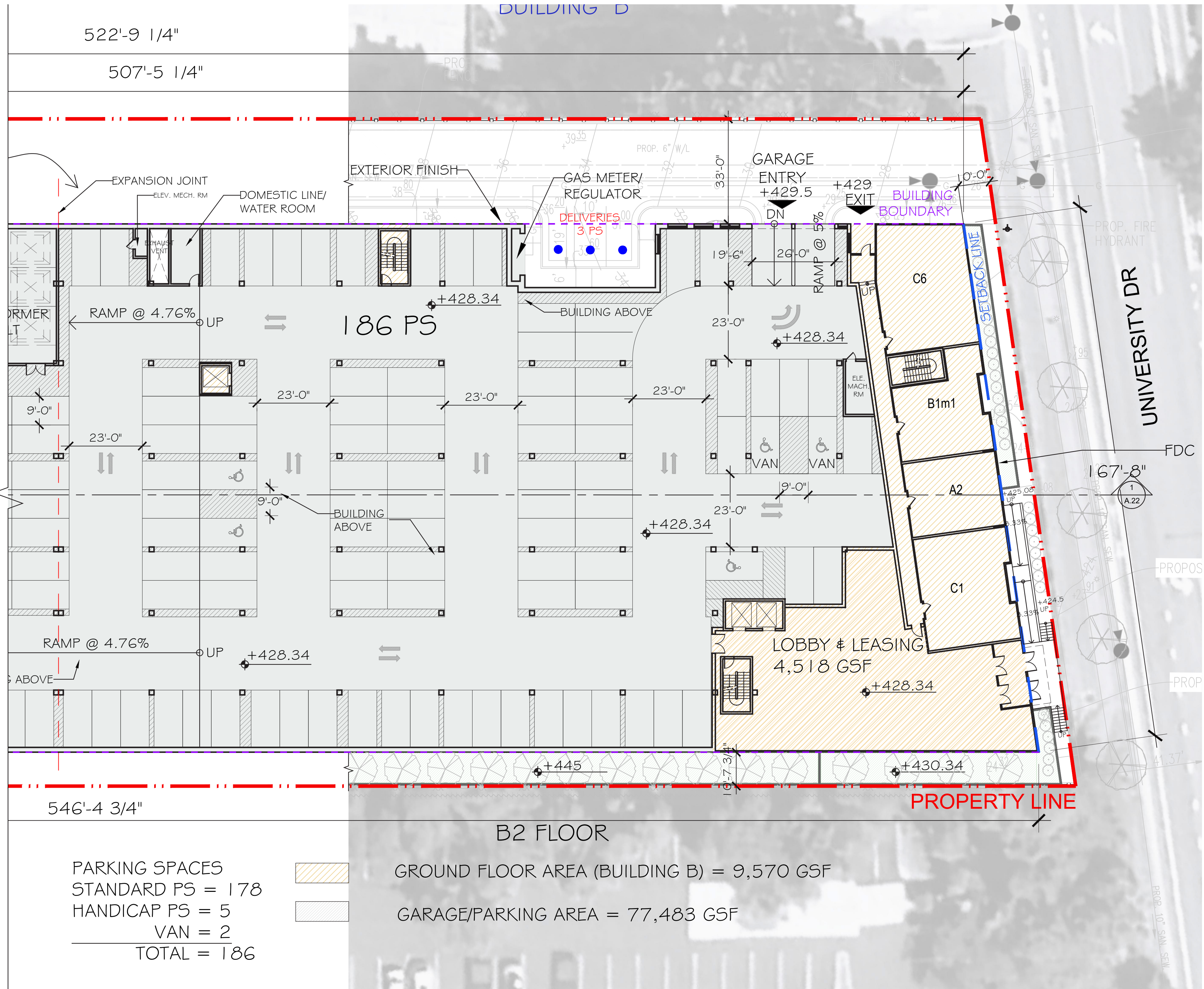
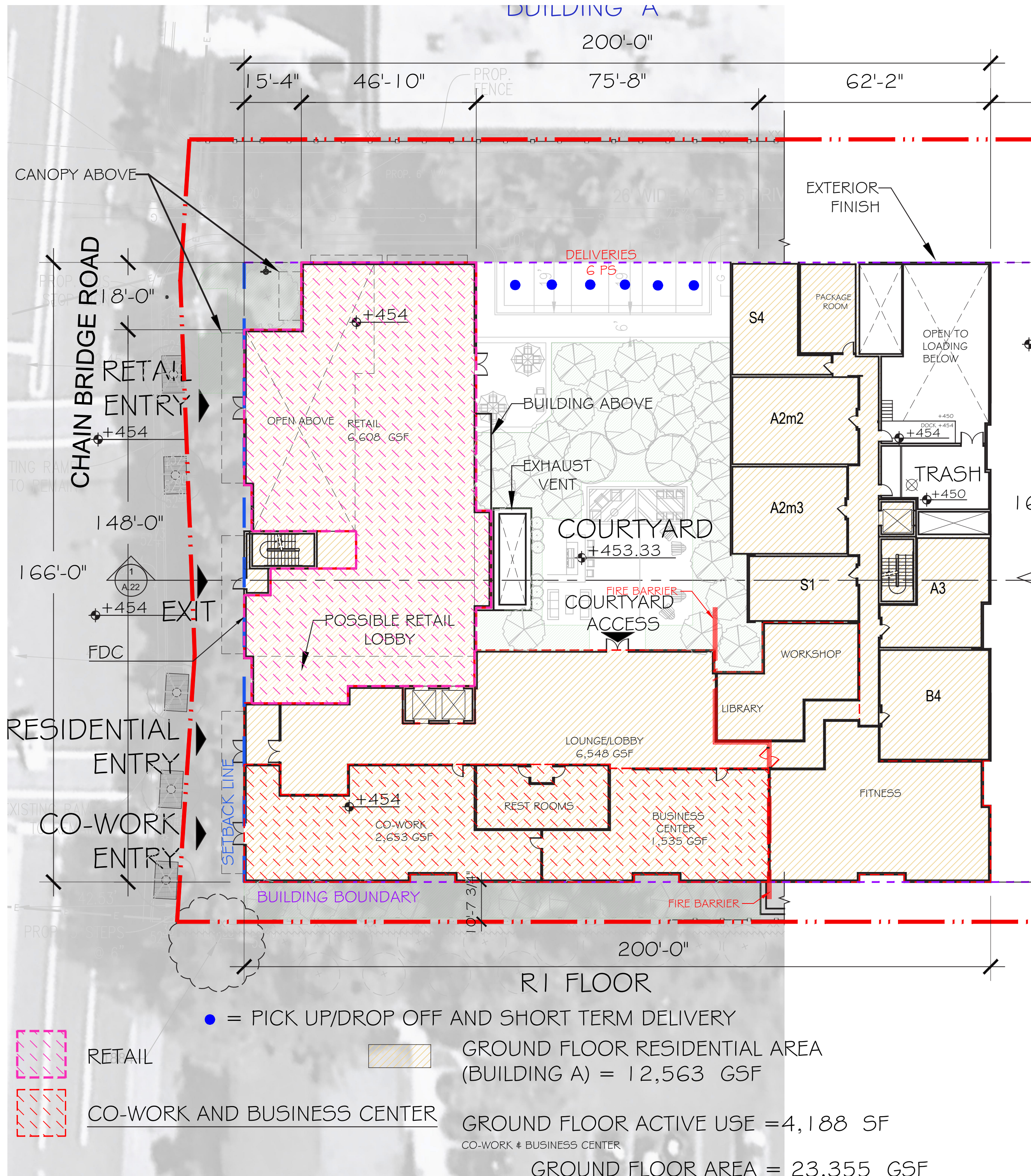
A.19

0' 10' 20' 40'  
SCALE: 1" = 20' (@ 22"x34")



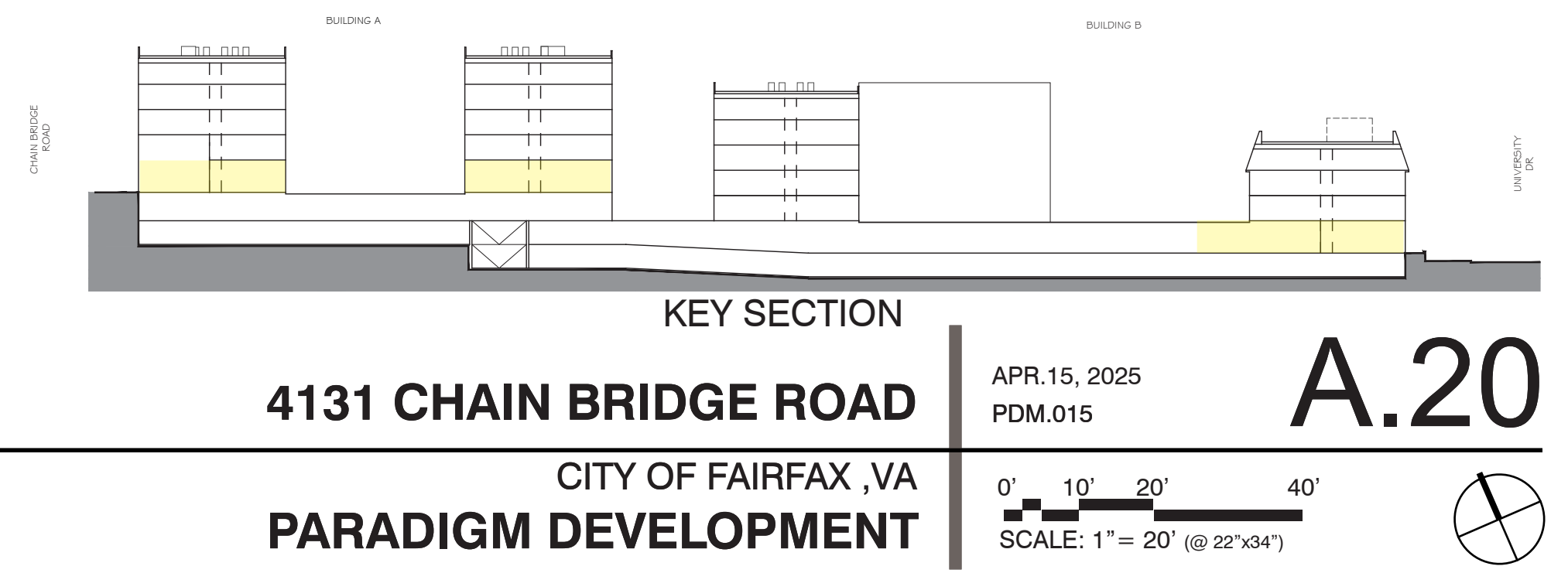
©2025 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY OTHER FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN INC.



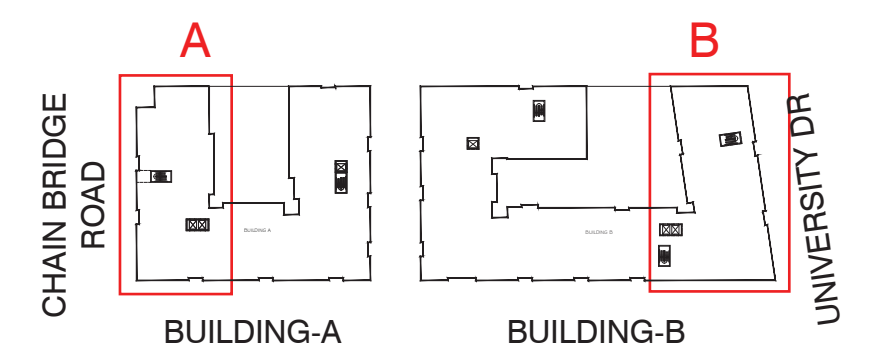
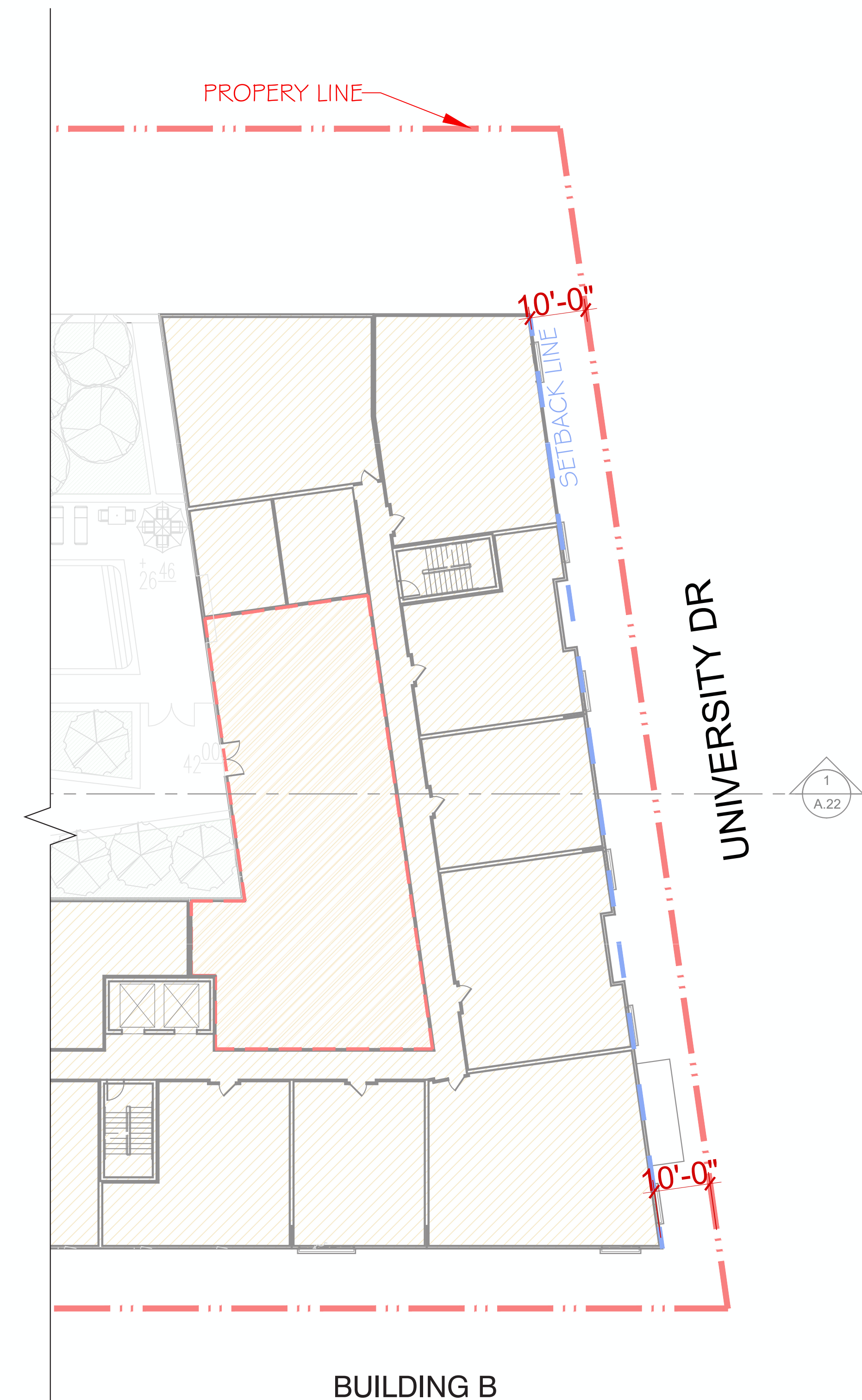
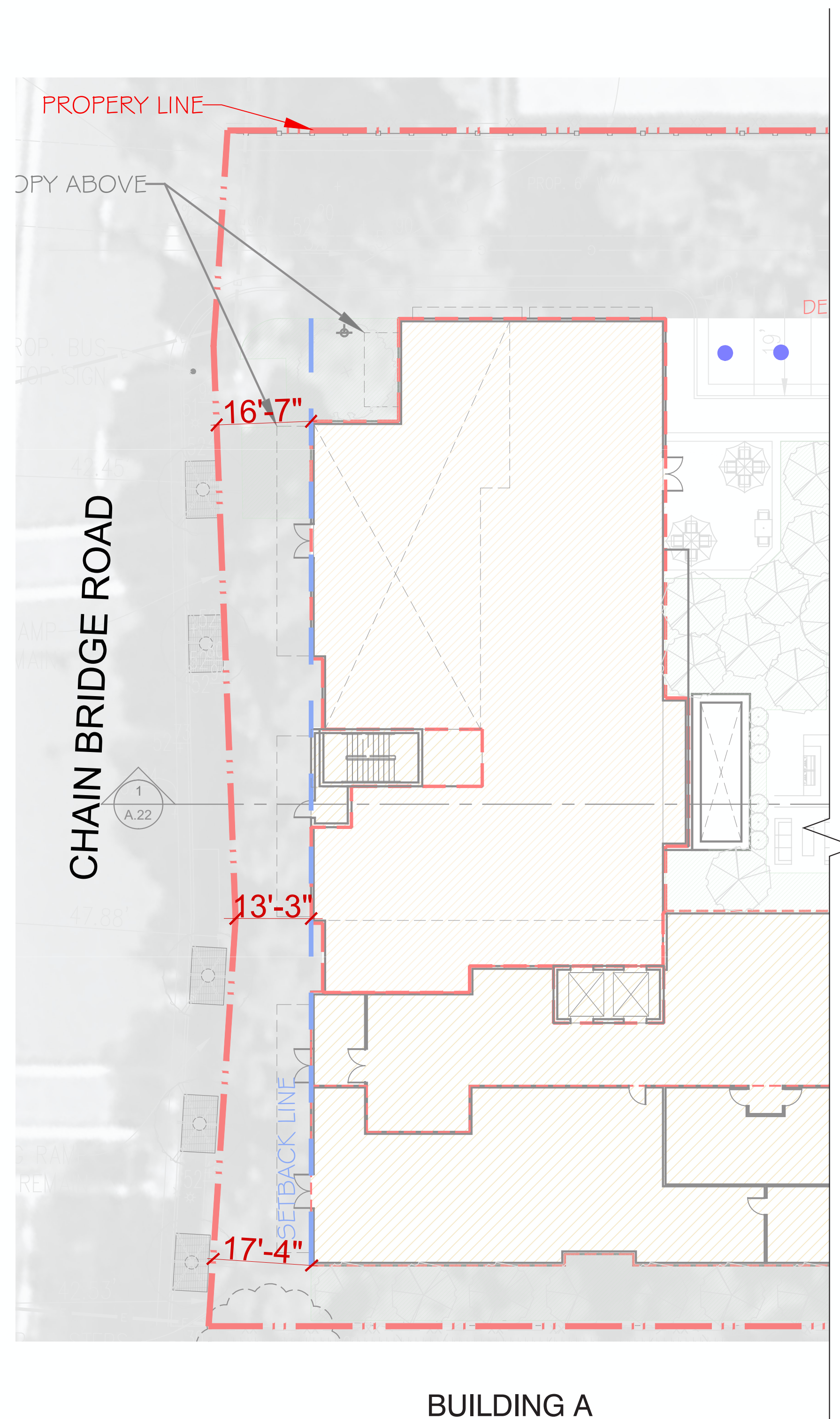


\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
 LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
 REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
 REFER TO CIVIL FOR TRUCK MANEUVERING.

## GROUND FLOOR MIXED USE







\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
 LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
 REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
 REFER TO CIVIL FOR TRUCK MANEUVERING.

## SETBACK FROM PROPERTY LINE DIAGRAM

©2025 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY OTHER FORM OR MATTER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN INC.

4131 CHAIN BRIDGE ROAD  
 CITY OF FAIRFAX, VA  
**PARADIGM DEVELOPMENT**

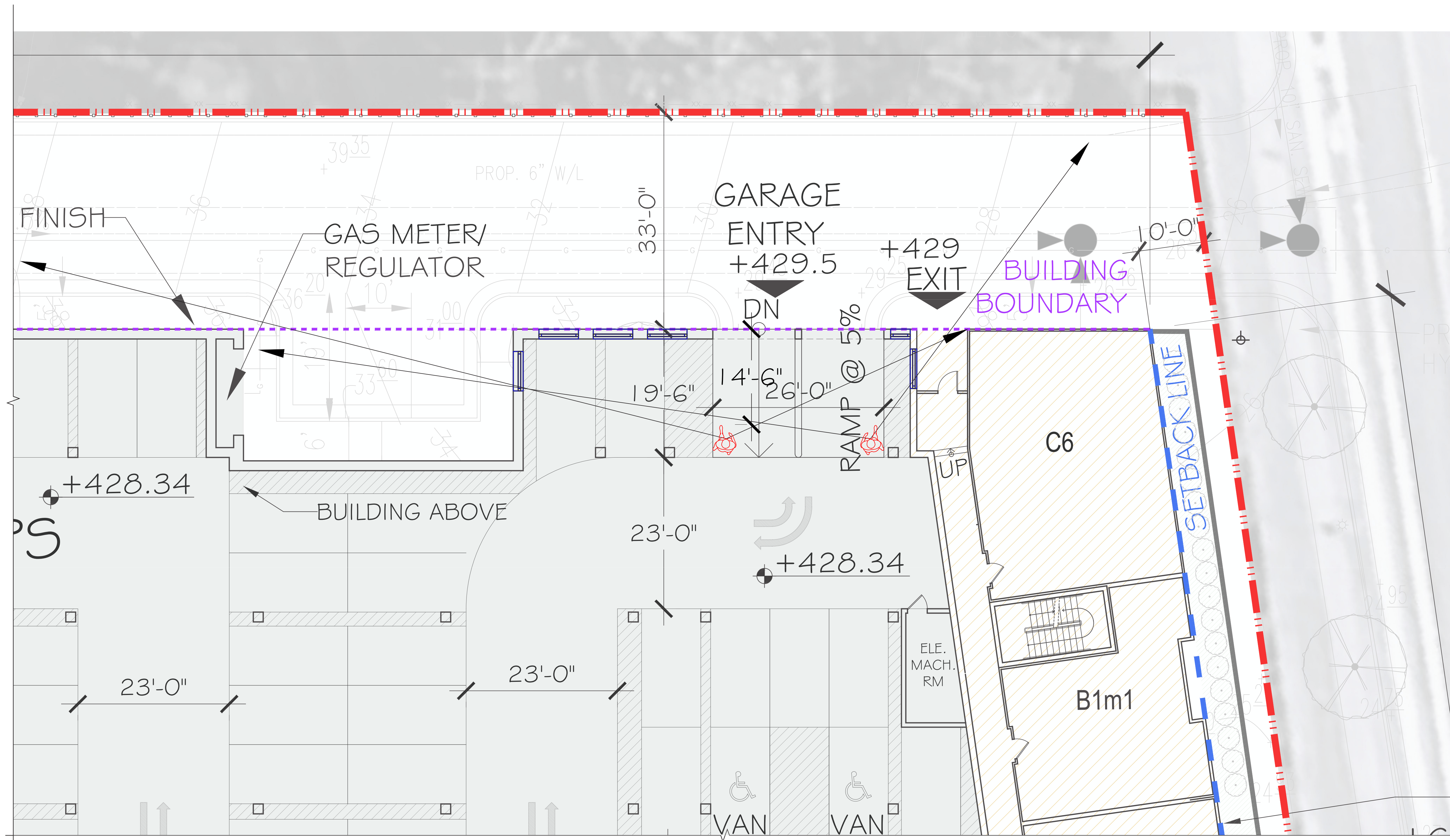
APR. 15, 2025  
 PDM.015

0' 8' 16' 32'  
 SCALE: 1/16" = 1'-0" (@ 22"x34")

KEY PLAN

**A.21**





\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
 LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
 REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
 REFER TO CIVIL FOR TRUCK MANEUVERING.

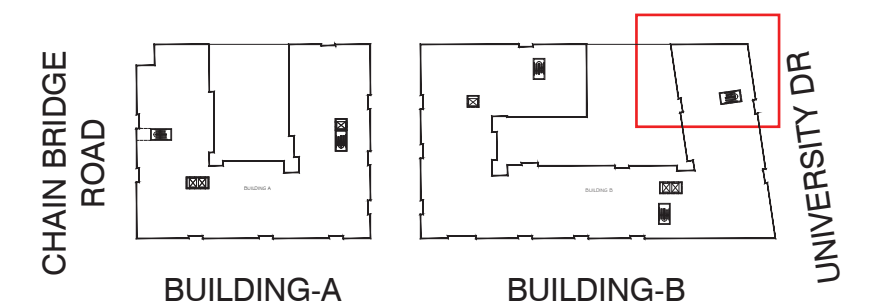


8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
 P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDDESIGN.COM

## SIGHT DISTANCE DIAGRAM

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA  
 PARADIGM DEVELOPMENT



KEY PLAN

APR. 15, 2025  
 PDM.015

# A.22

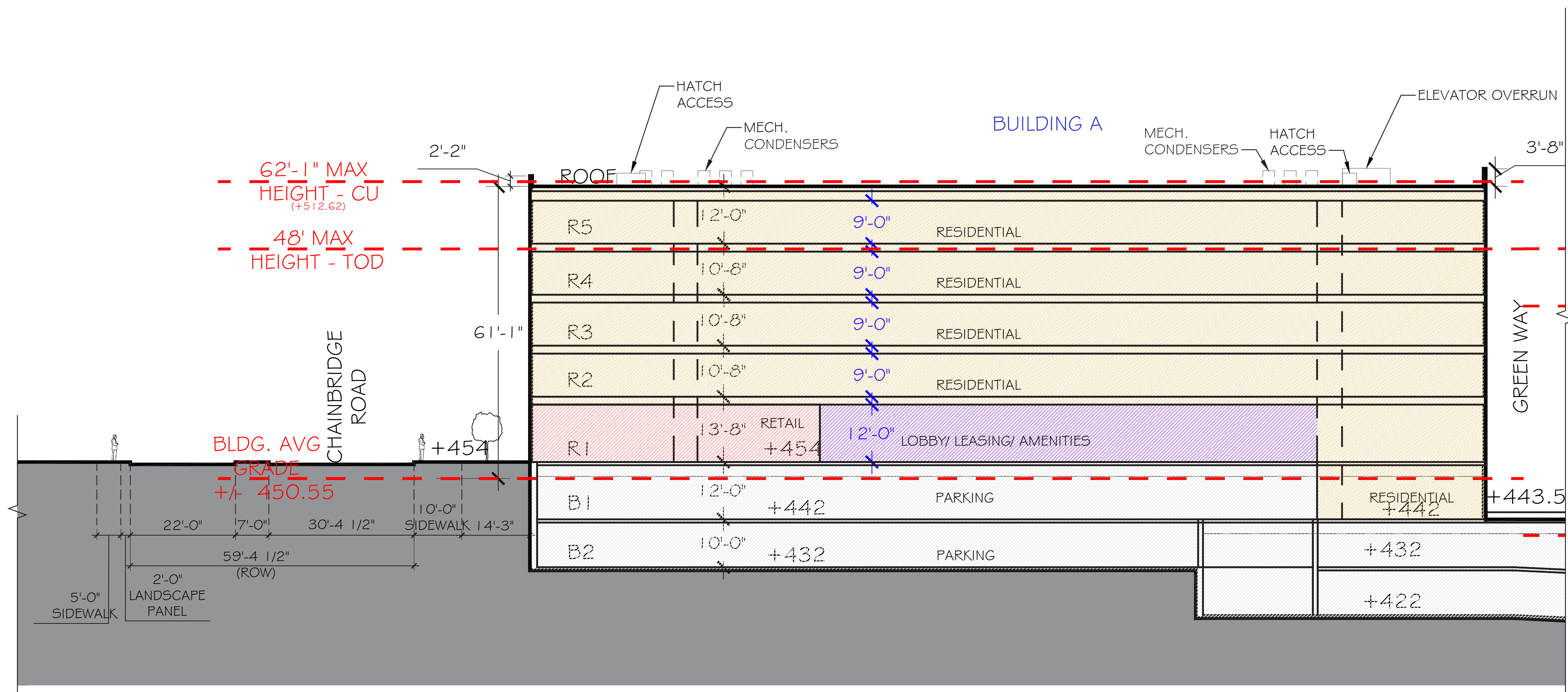
0' 4' 8' 16'  
 SCALE: 1/8" = 1'-0" (@ 22"x34")

©2025 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY OTHER FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN INC.

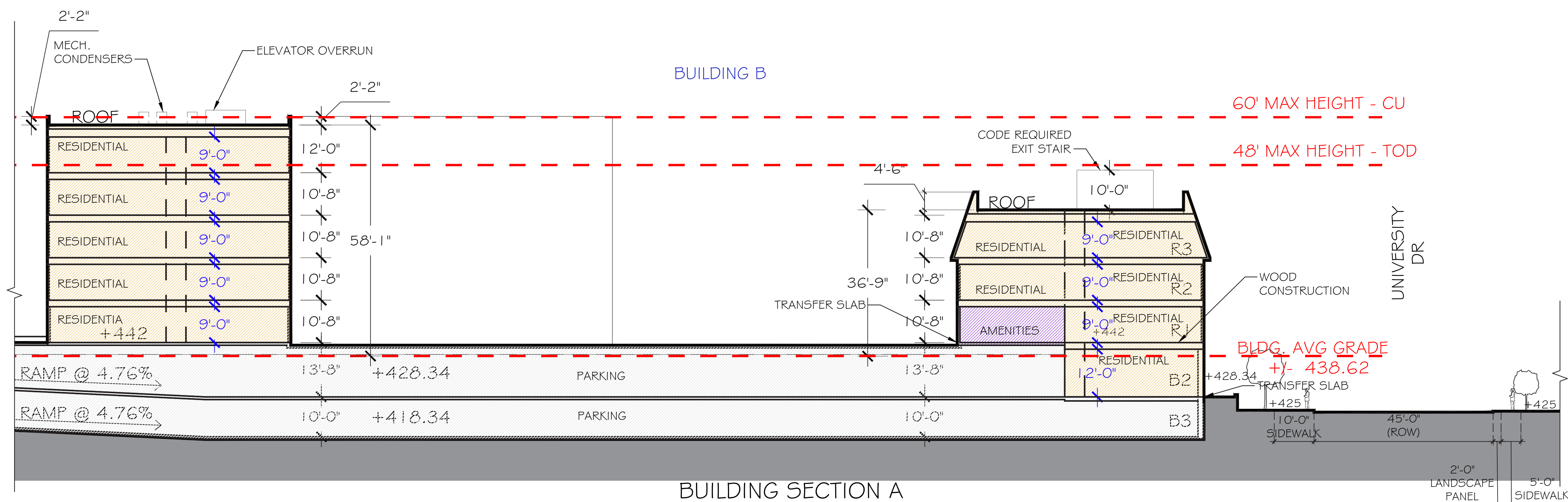








BUILDING SECTION A

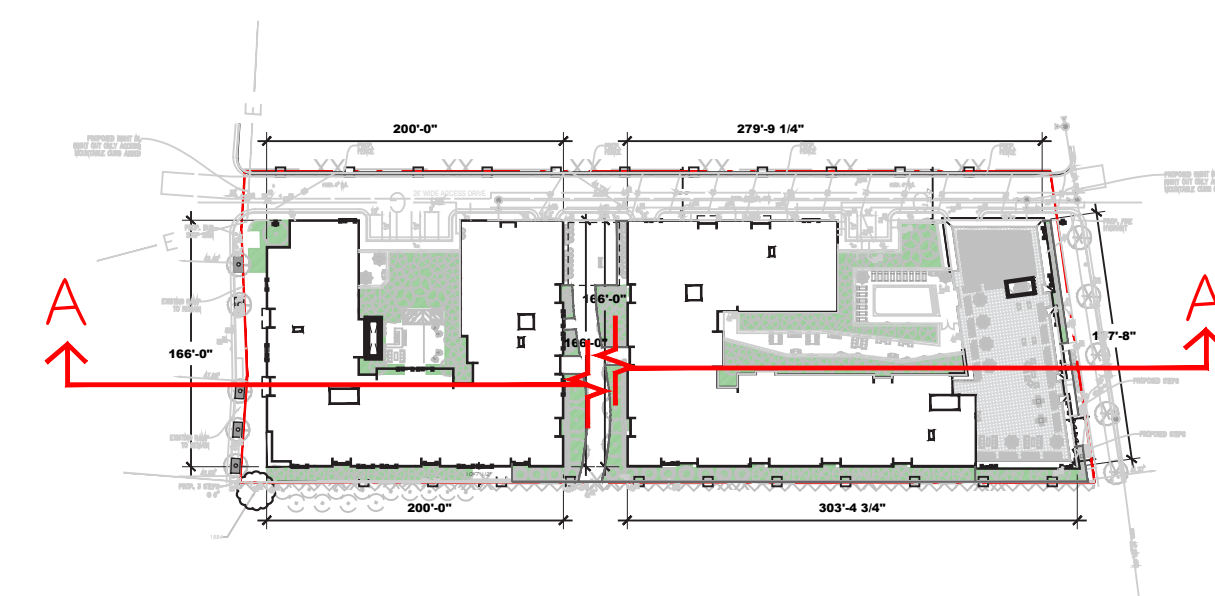


BUILDING SECTION A

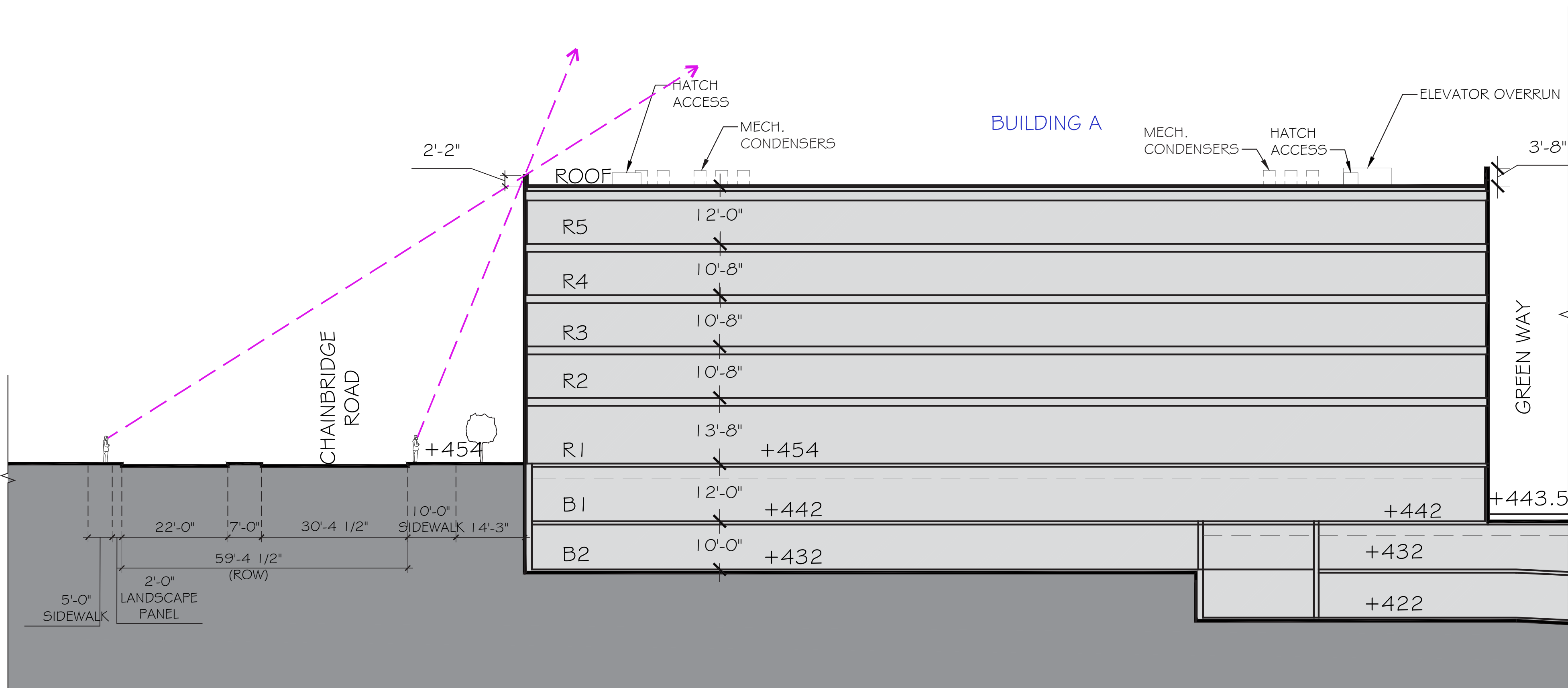
**NOTE:**  
 - COMPLIANT TO ZONING ORDINANCE 3.5.1.D.3

- 12' CEILING MINIMUM AT GROUND FLOOR

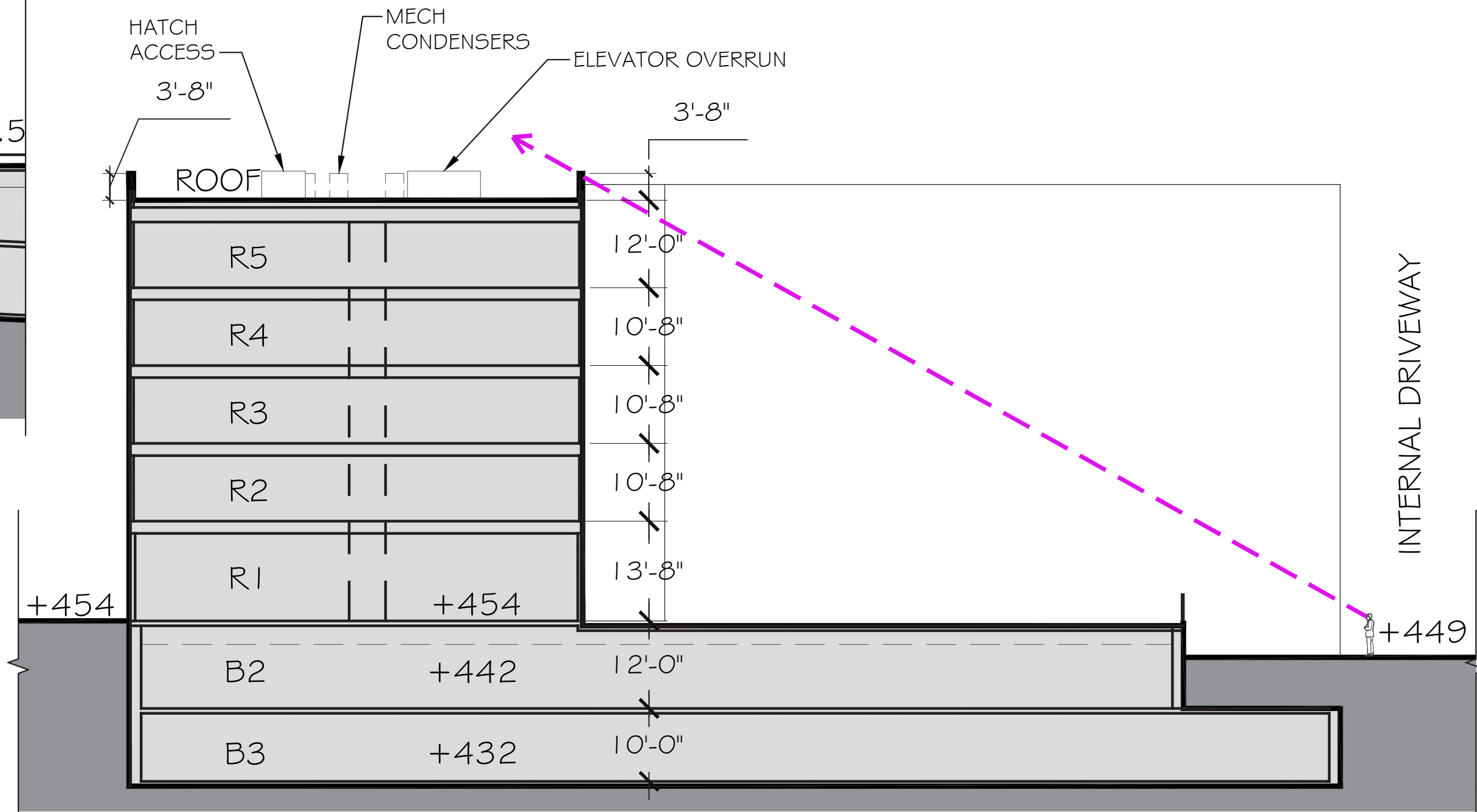
- 9' CEILING MINIMUM AT UPPER FLOORS



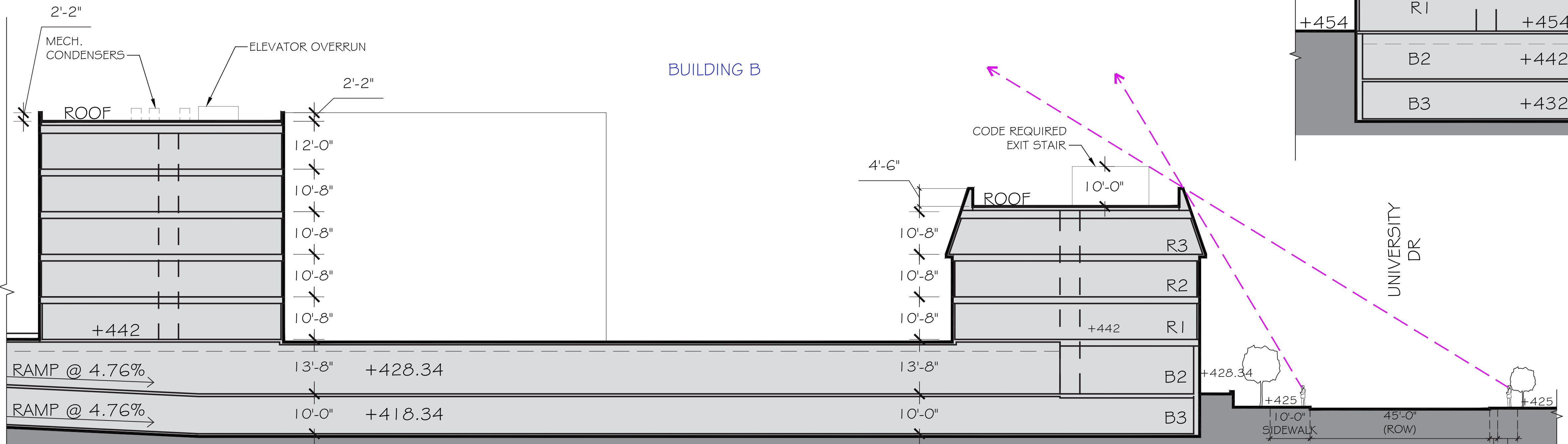




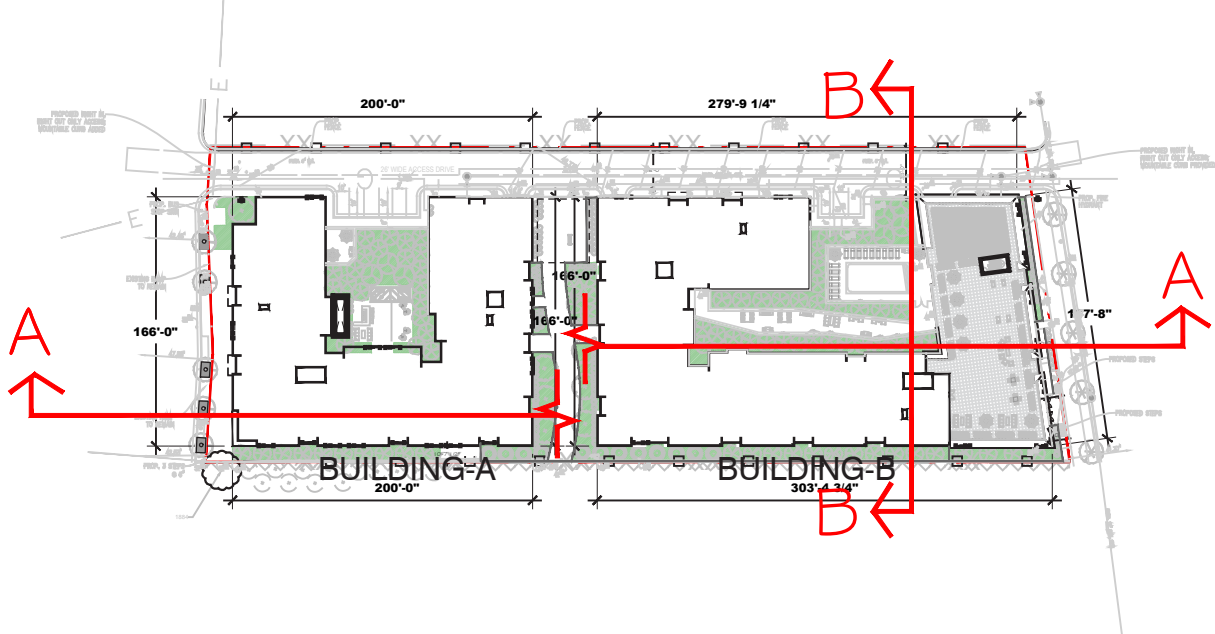
BUILDING SECTION A



BUILDING SECTION B



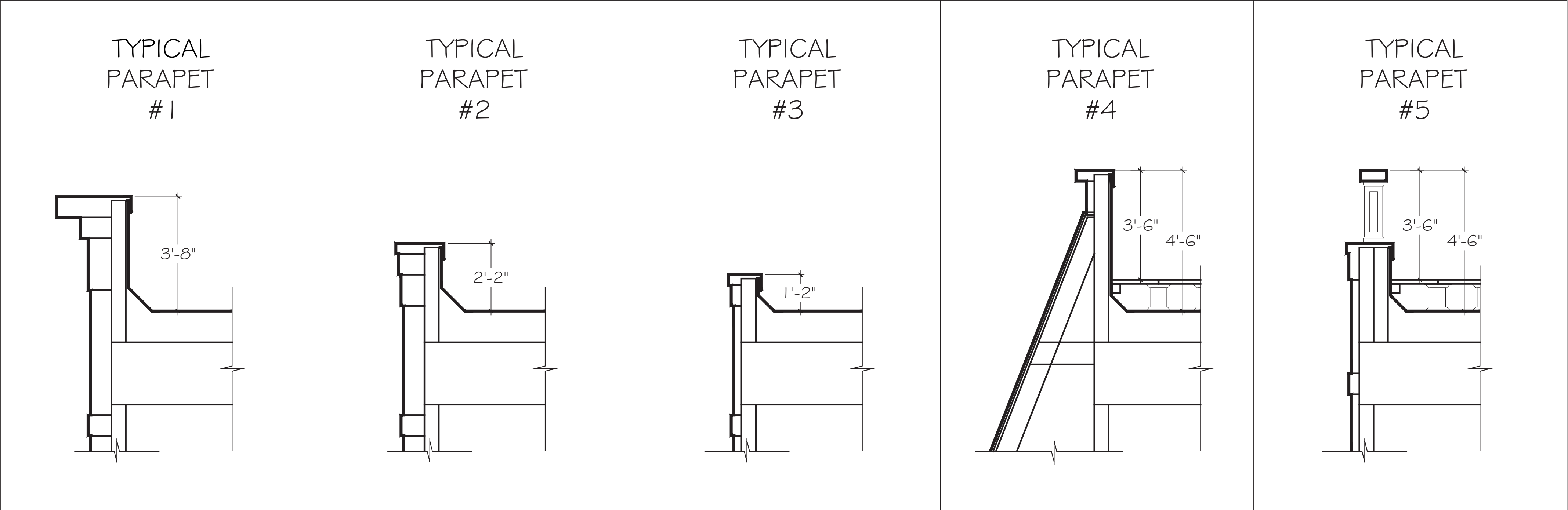
BUILDING SECTION A



KEY PLAN

\*SEE PAGE A.23 FOR DETAILED DIMENSIONS OF MECH. CONDENSER, ELEVATOR OVERRUN, HATCH ACCESS, AND STAIR.

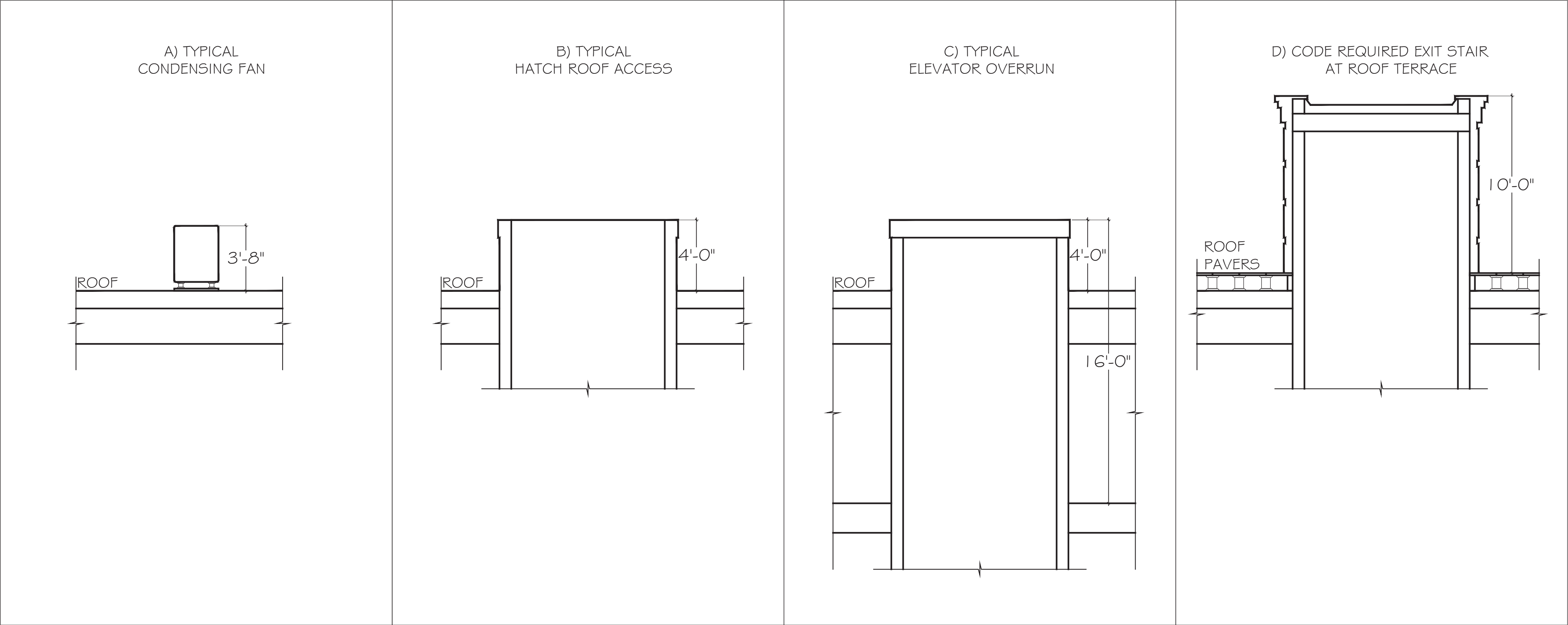




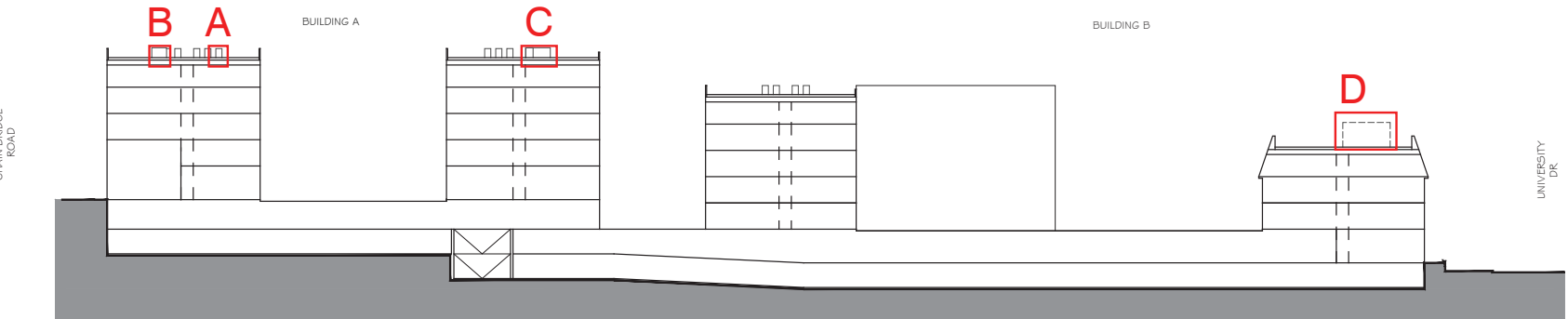
PARAPET DIAGRAM



KEY PLAN- PARAPETS



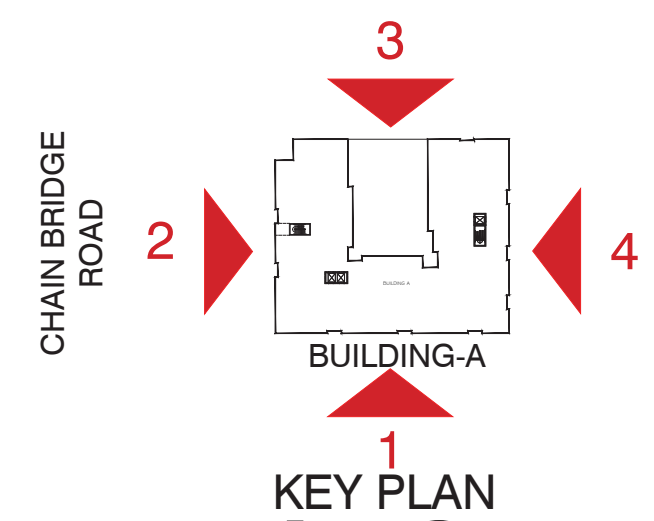
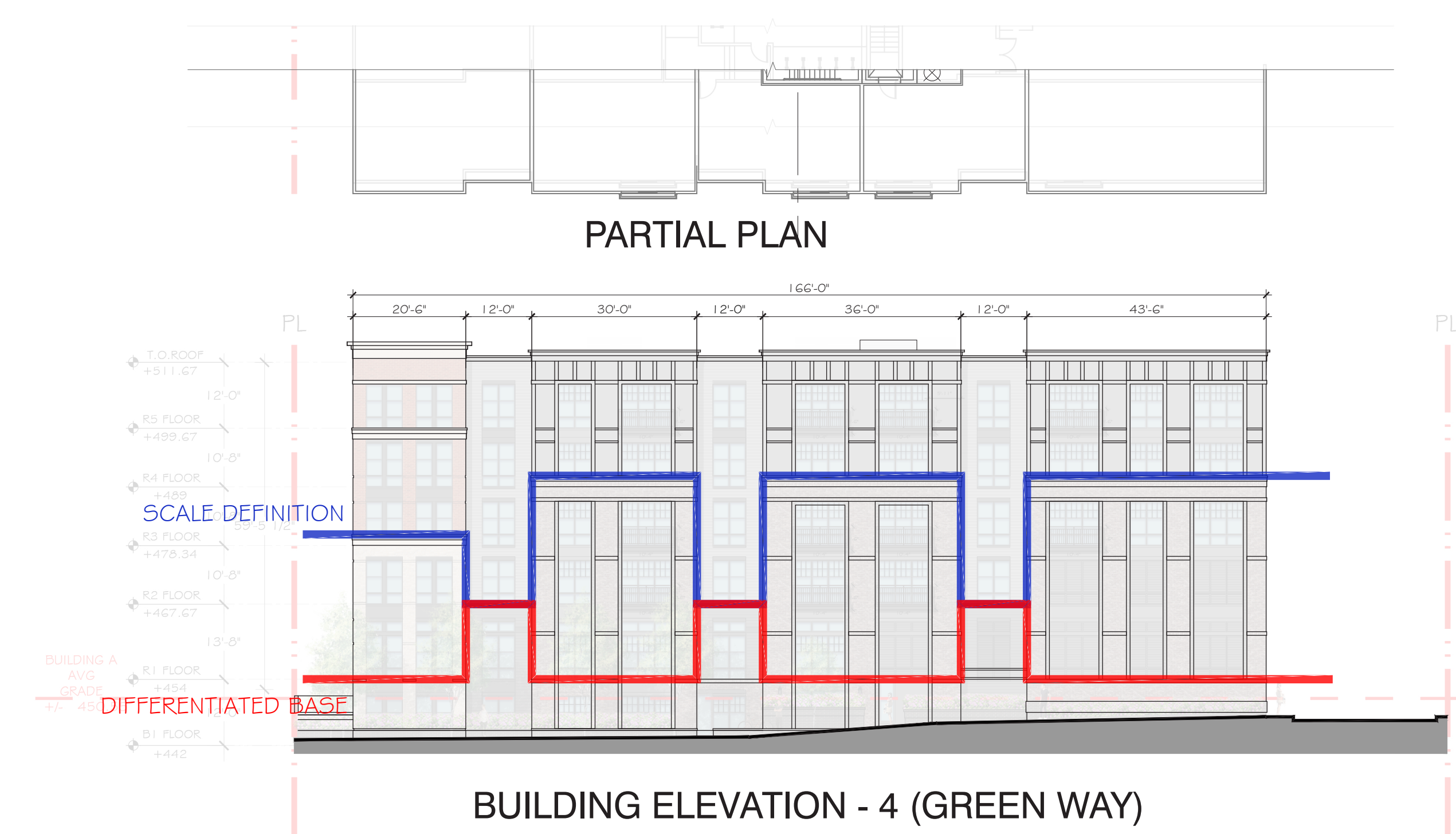
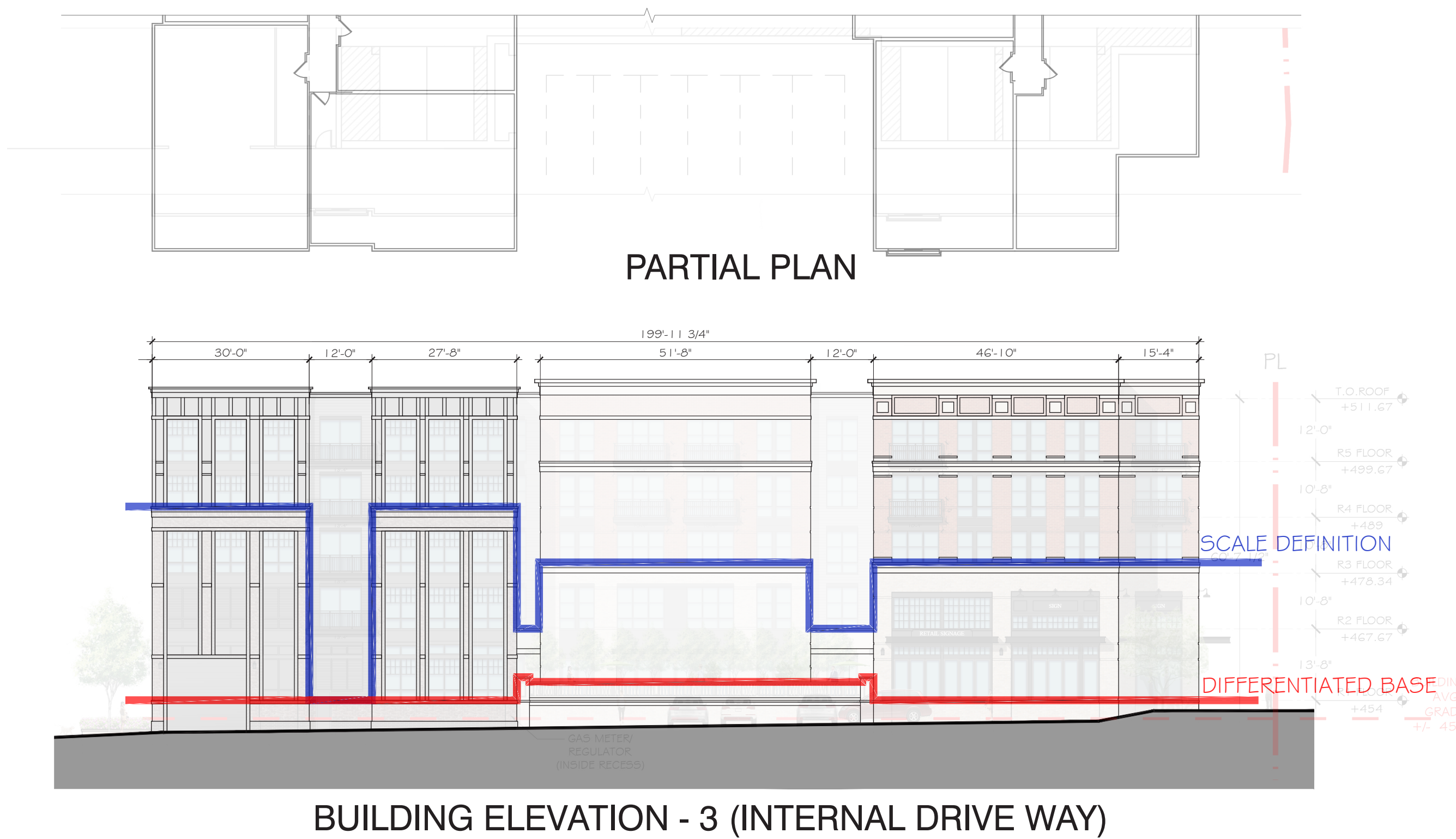
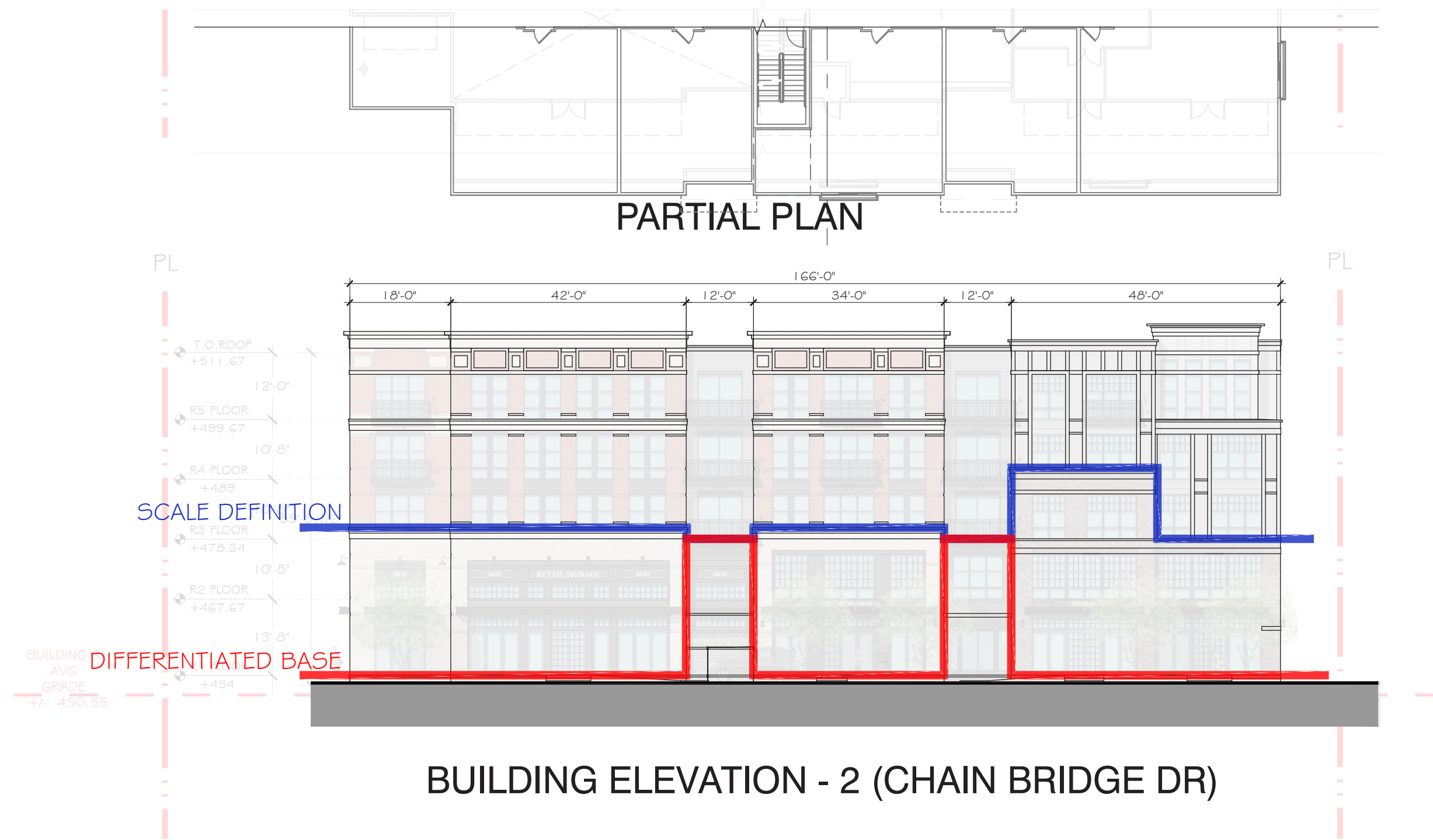
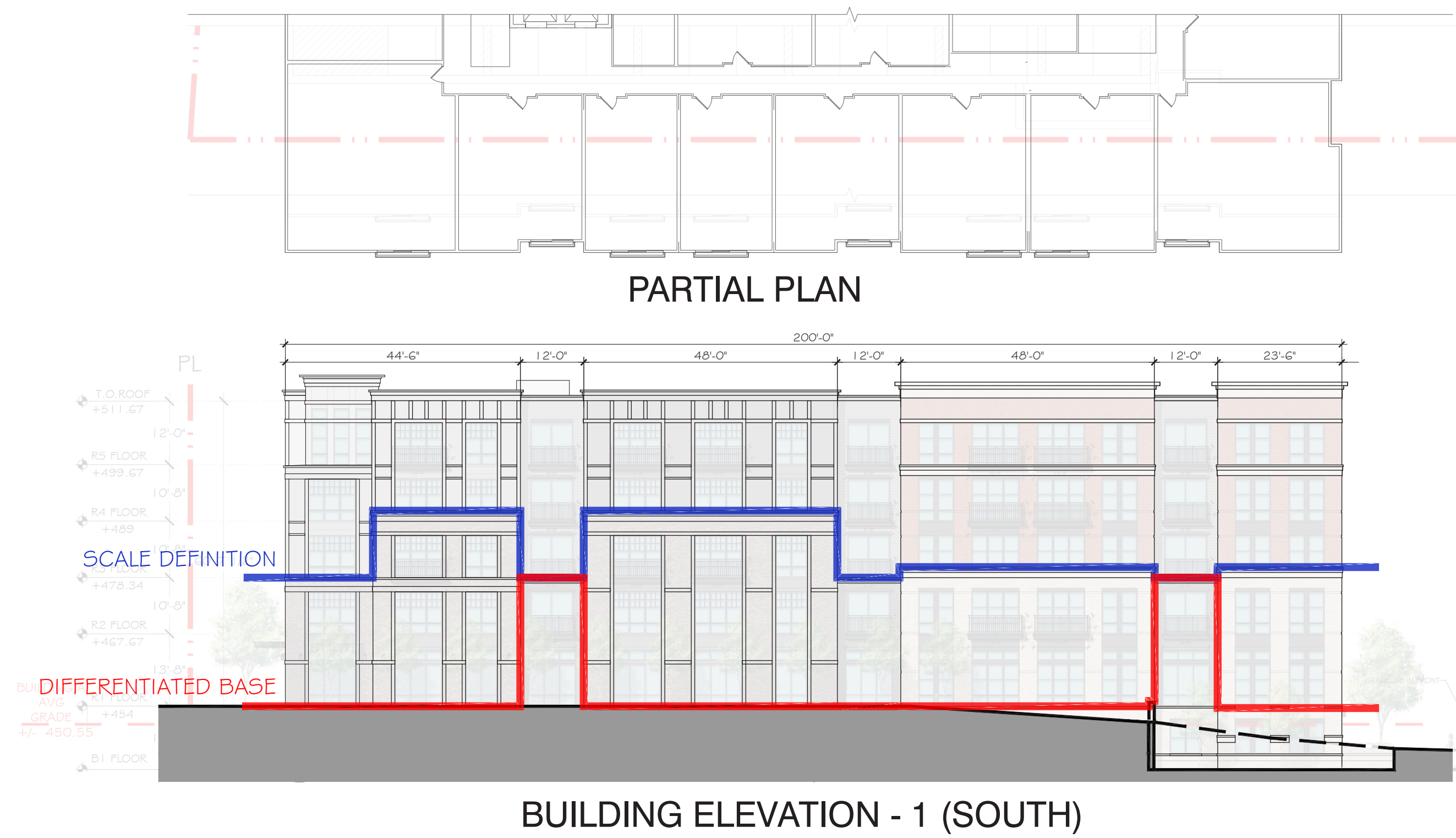
HEIGHT PROJECTIONS DIAGRAM



KEY PLAN- HEIGHT PROJECTIONS

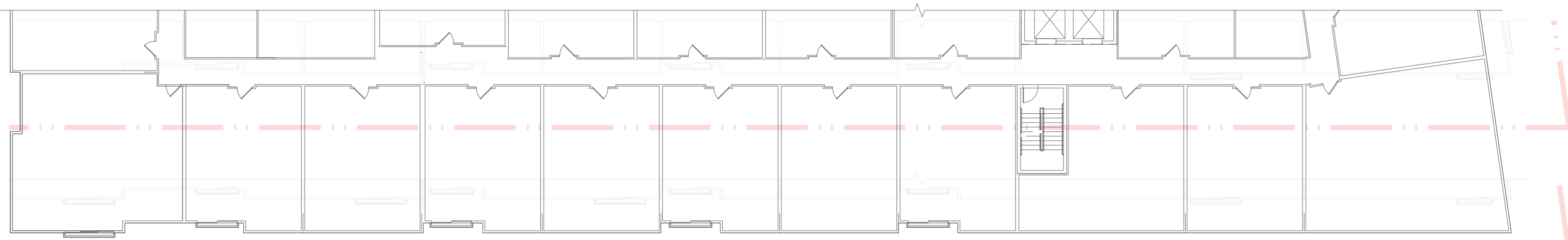
PARAPET AND HEIGHT PROJECTION DIAGRAMS





\*NOTE: REFER TO CIVIL FOR AVERAGE GRADE.  
 \*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.  
 \*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.

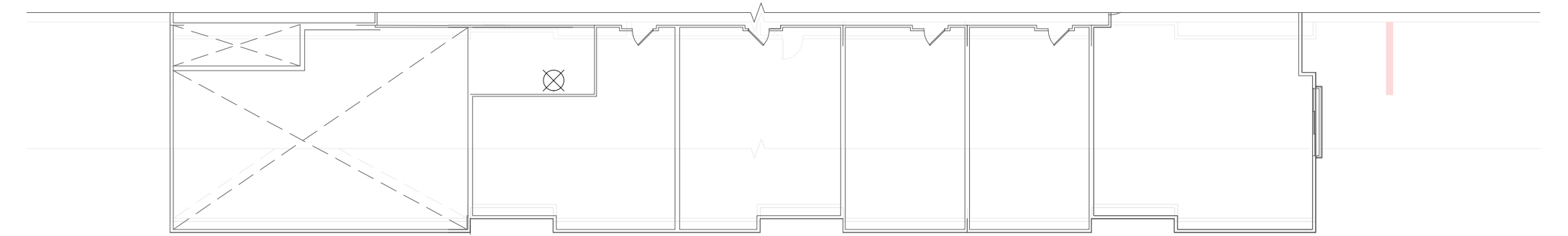




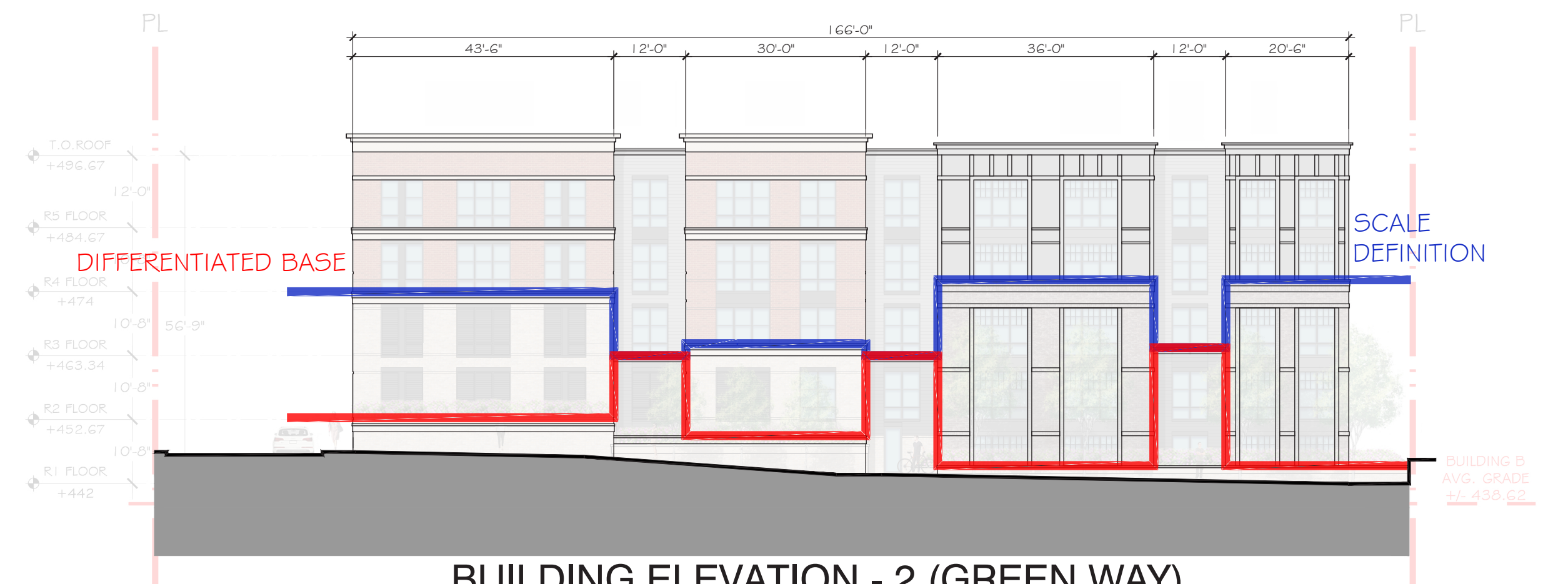
PARTIAL PLAN



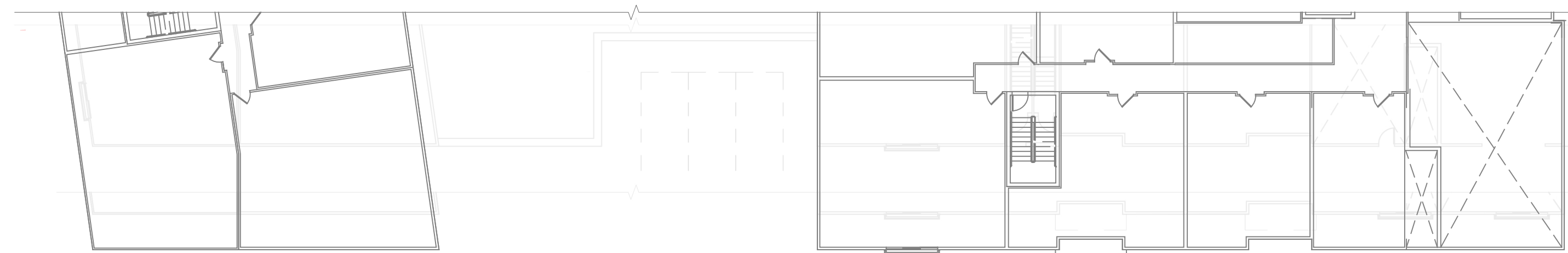
BUILDING ELEVATION - 1 (SOUTH)



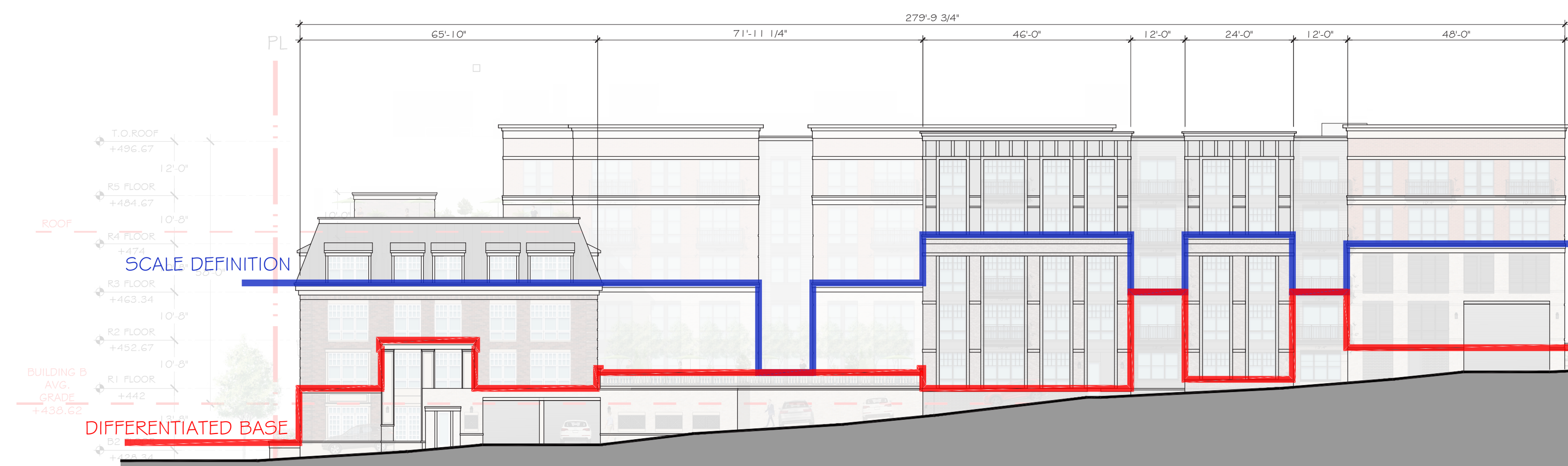
PARTIAL PLAN



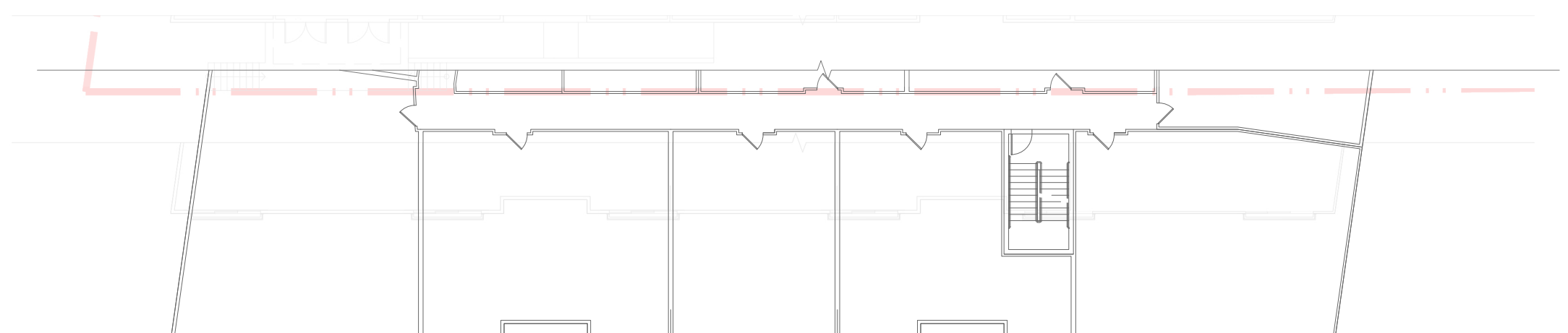
BUILDING ELEVATION - 2 (GREEN WAY)



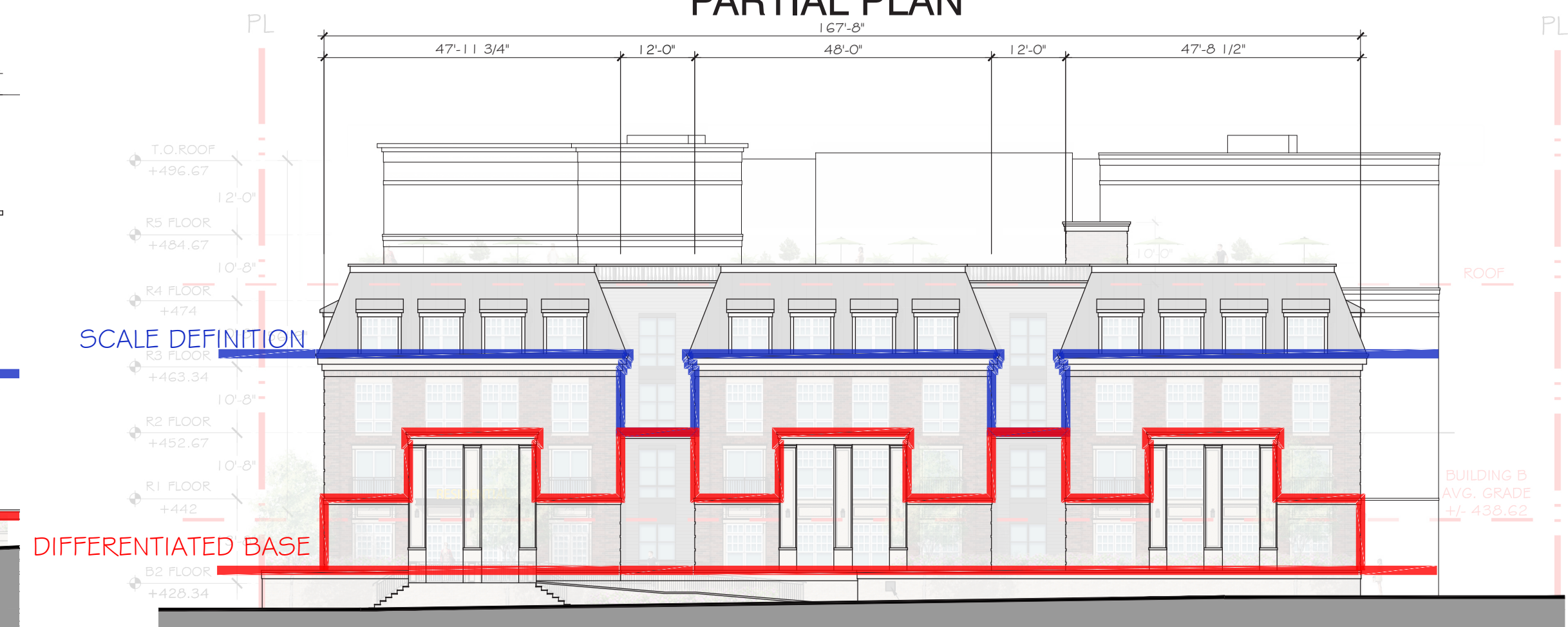
PARTIAL PLAN



BUILDING ELEVATION - 3 (INTERNAL DRIVEWAY)



PARTIAL PLAN



BUILDING ELEVATION - 4 (UNIVERSITY DR)

\*NOTE: REFER TO CIVIL FOR AVERAGE GRADE.  
\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDDESIGN.COM

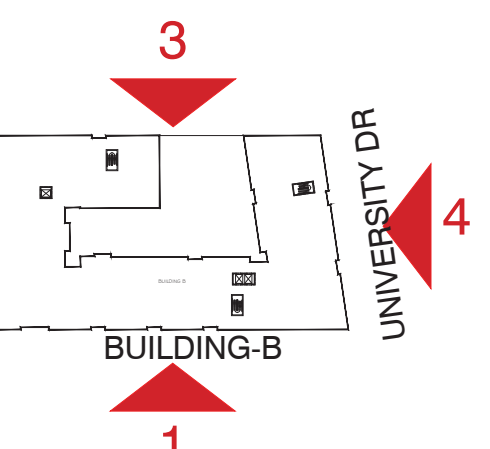
## COMPOSITION EXHIBIT - BUILDING B

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

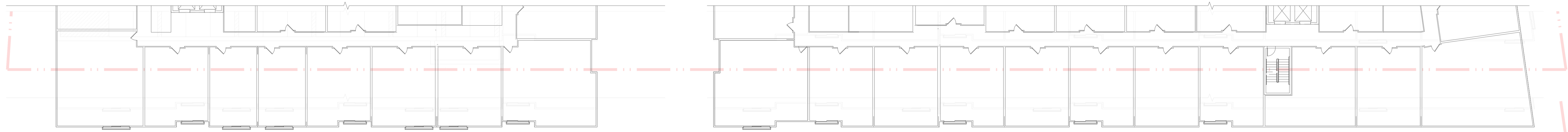
APR. 15, 2025  
PDM.015

0' 10' 20' 40'  
SCALE: 1" = 20' (@ 22'x34')



KEY PLAN  
**A.28**

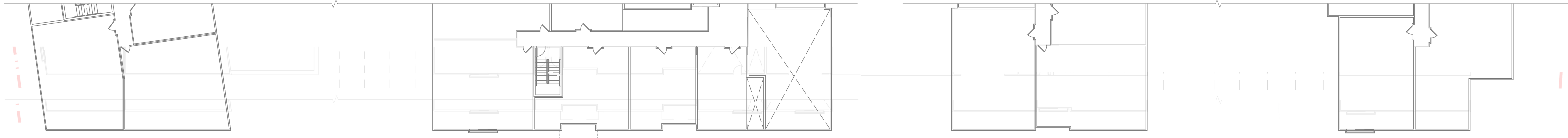




PARTIAL PLAN



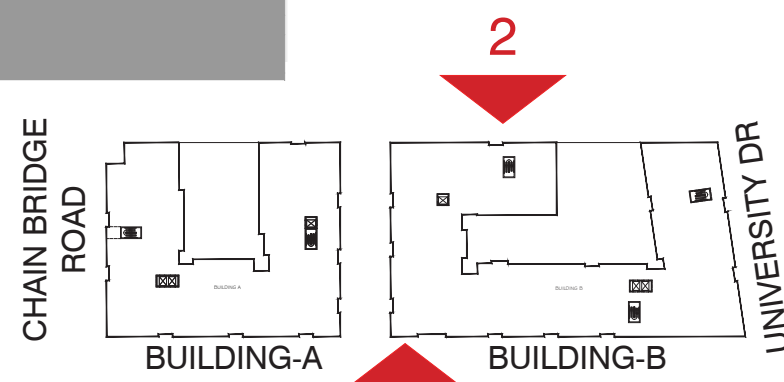
SITE ELEVATION - 1 (SOUTH)



PARTIAL PLAN



SITE ELEVATION - 2 (INTERNAL DRIVE WAY)



KEY PLAN

\*NOTE: REFER TO CIVIL FOR AVERAGE GRADE.  
\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDESIGN.COM

## COMPOSITION EXHIBIT - SITE ELEVATIONS

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

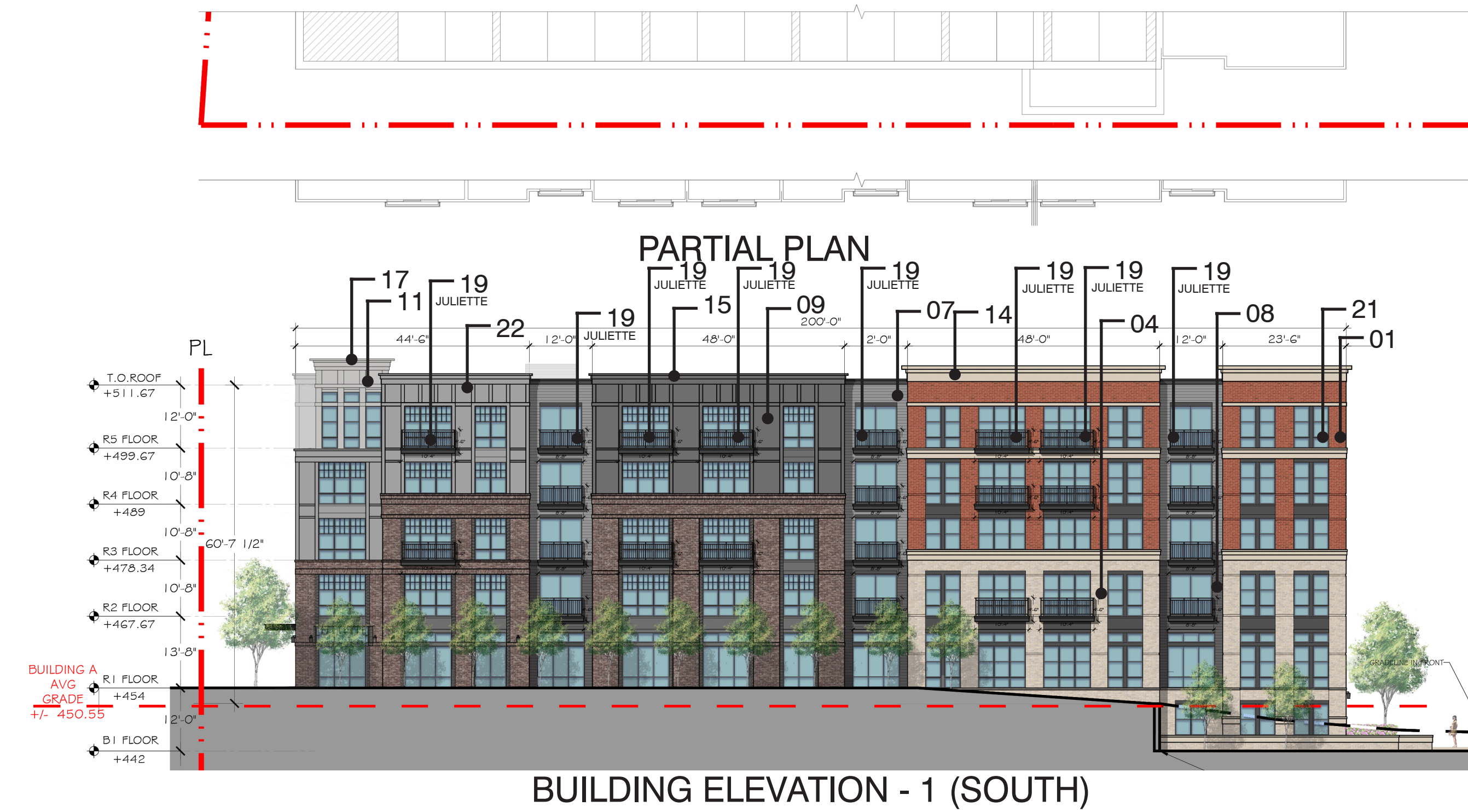
APR. 15, 2025  
PDM.015

0' 10' 20' 40'  
SCALE: 1" = 20' (@ 22'x34')

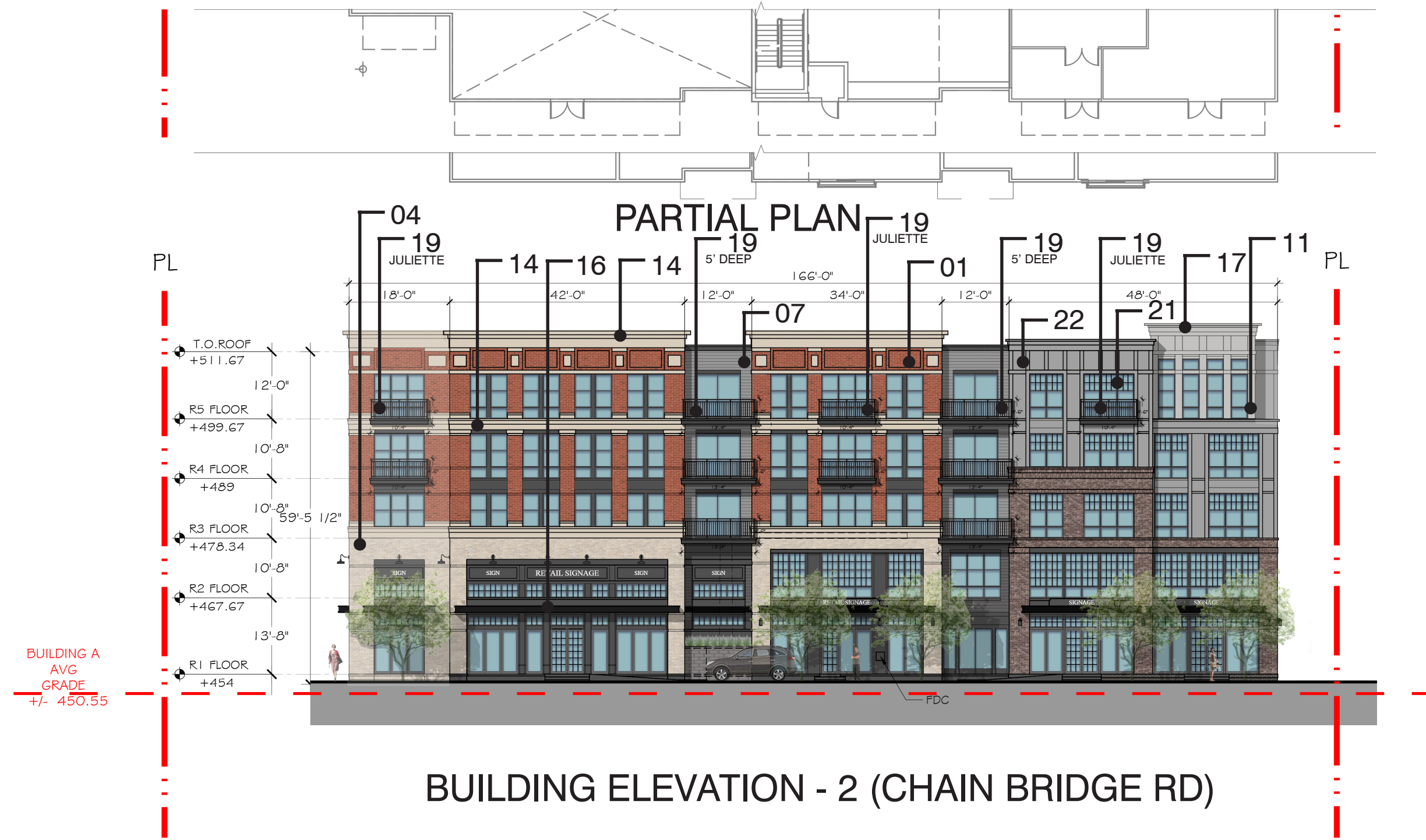
A.29

©2025 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY OTHER FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN INC.

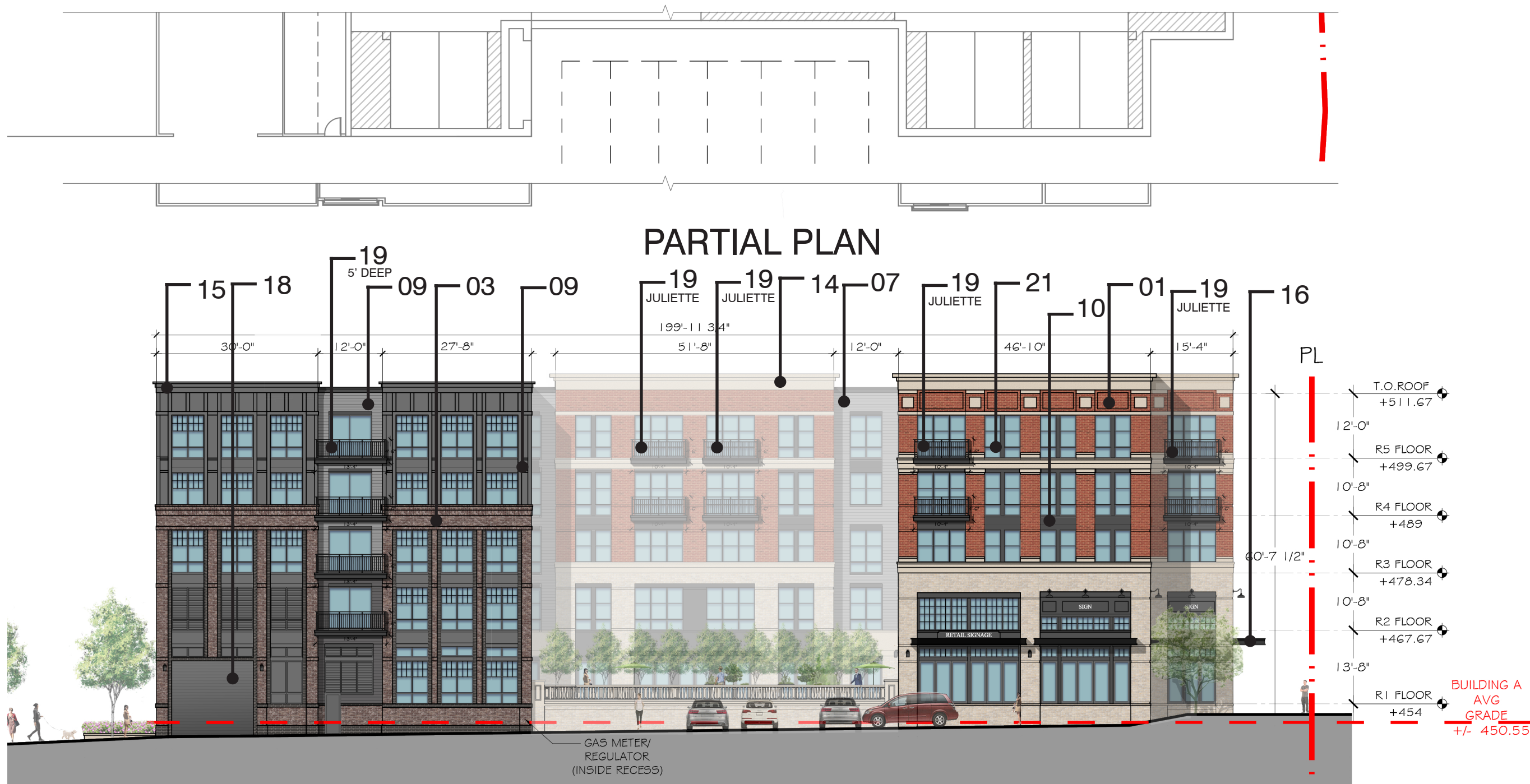




BUILDING ELEVATION - 1 (SOUTH)



BUILDING ELEVATION - 2 (CHAIN BRIDGE RD)



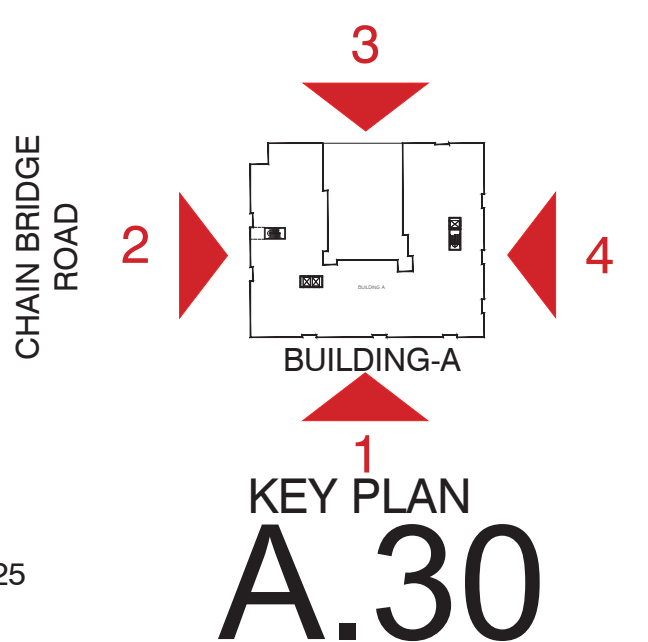
BUILDING ELEVATION - 3 (INTERNAL DRIVEWAY)



BUILDING ELEVATION - 4 (GREEN WAY)

- MATERIAL LEGEND**
- 01 BRICK - RED
  - 02 BRICK - BURGUNDY
  - 03 BRICK - BURGUNDY / GRAY RANGE
  - 04 BRICK - TAN
  - 05 BRICK - BLACK IRONSPOT
  - 06 STANDING SEAM ROOF - BLACK
  - 07 SIDING - MEDIUM GRAY
  - 08 SIDING - DARK GRAY
  - 09 CEMENTITIOUS BOARD - MEDIUM GRAY
  - 10 CEMENTITIOUS BOARD - DARK GRAY
  - 11 CEMENTITIOUS BOARD - FEATURE LIGHT GRAY
  - 12 FIBER CEMENT TRIM - WHITE
  - 13 ARCHITECTURAL STONE - BEIGE
  - 14 METAL CORNICE - BEIGE
  - 15 METAL CORNICE - MEDIUM GRAY
  - 16 METAL CORNICE & CANOPY - DARK GRAY
  - 17 METAL CORNICE - FEATURE LIGHT GRAY
  - 18 ALUMINUM OVERHEAD DOOR
  - 19 METAL BALCONY - DARK GRAY
  - 20 DECORATIVE GRILLS - DARK GRAY
  - 21 VINYL WINDOWS - DARK GREY/WHITE
  - 22 CEMENTITIOUS BOARD - FEATURE MEDIUM GRAY

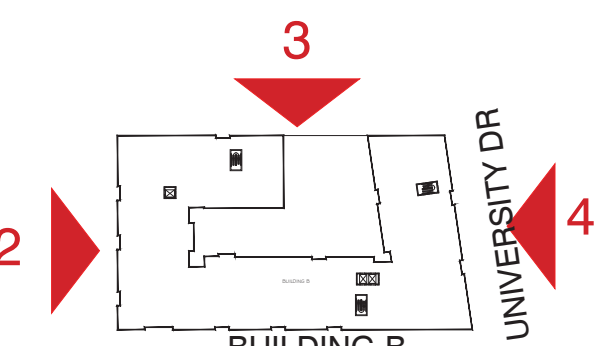
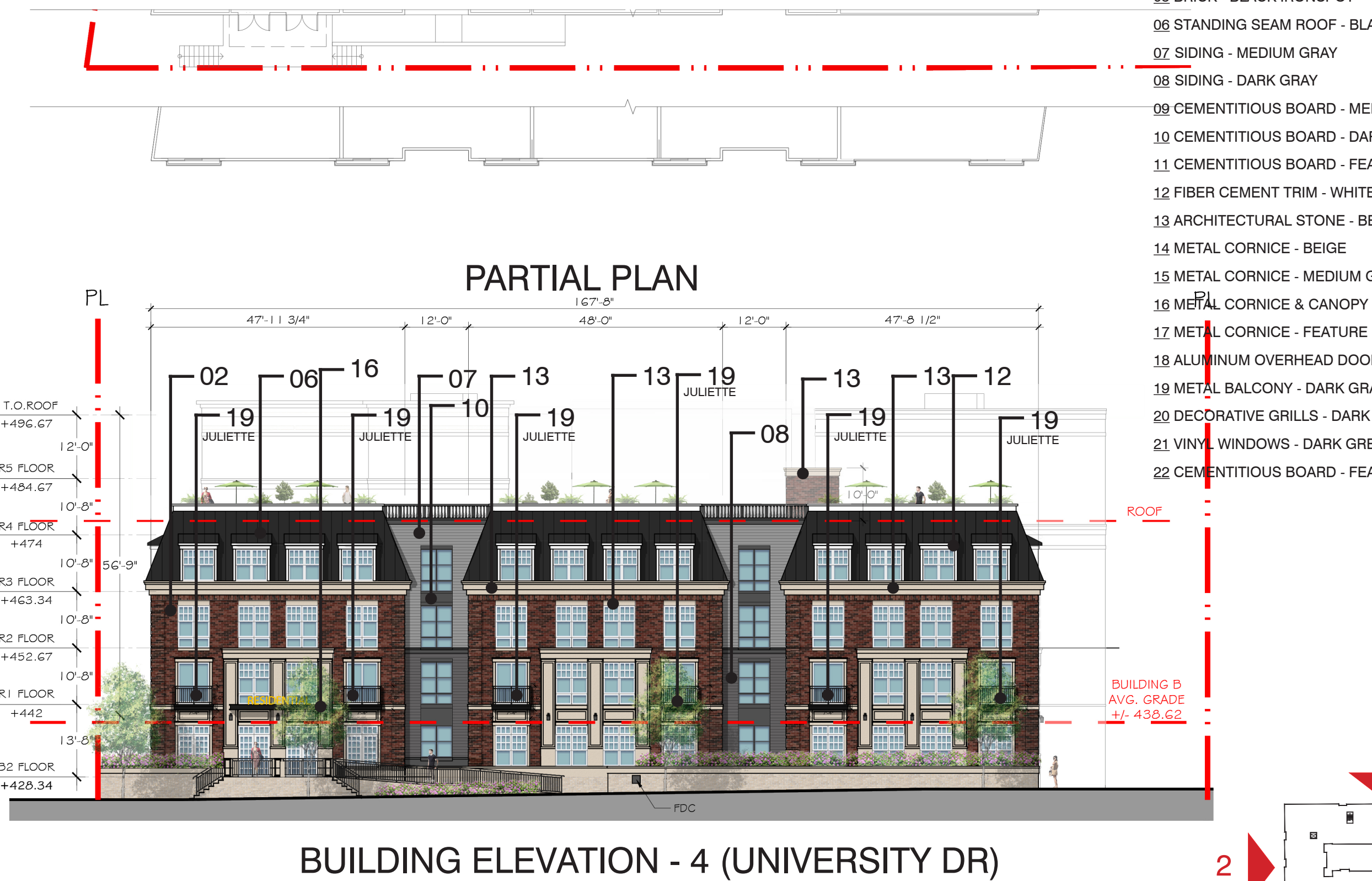
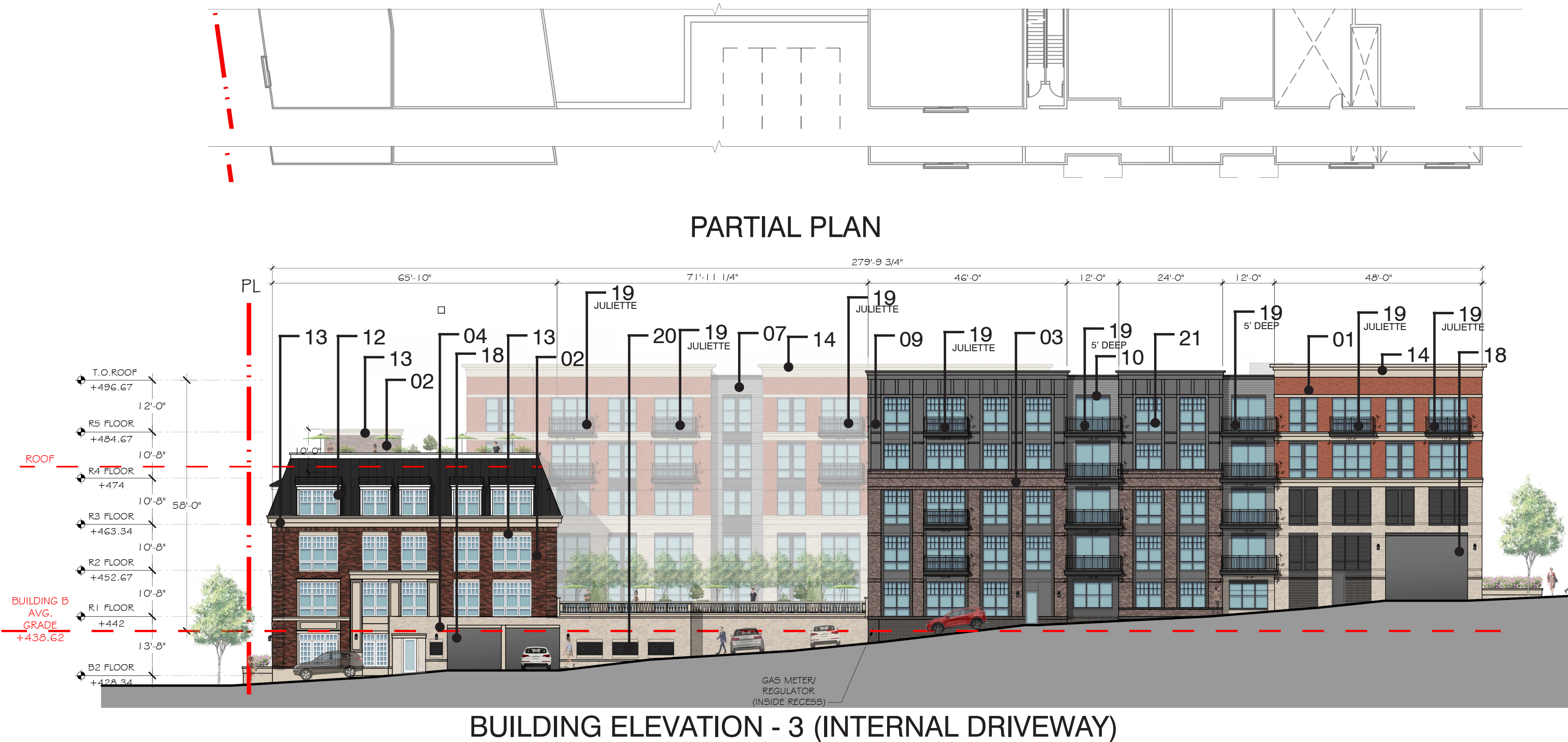
\*NOTE: REFER TO CIVIL FOR AVERAGE GRADE.  
\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.





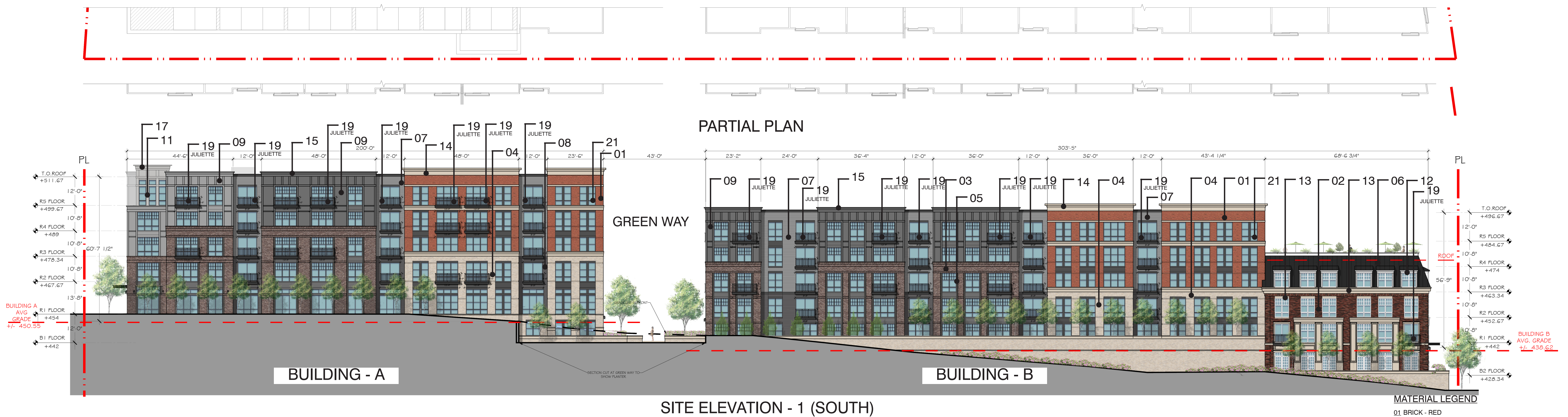


- MATERIAL LEGEND**
- 01 BRICK - RED
  - 02 BRICK - BURGUNDY
  - 03 BRICK - BURGUNDY / GRAY RANGE
  - 04 BRICK - TAN
  - 05 BRICK - BLACK IRONSPOT
  - 06 STANDING SEAM ROOF - BLACK
  - 07 SIDING - MEDIUM GRAY
  - 08 SIDING - DARK GRAY
  - 09 CEMENTITIOUS BOARD - MEDIUM GRAY
  - 10 CEMENTITIOUS BOARD - DARK GRAY
  - 11 CEMENTITIOUS BOARD - FEATURE LIGHT GRAY
  - 12 FIBER CEMENT TRIM - WHITE
  - 13 ARCHITECTURAL STONE - BEIGE
  - 14 METAL CORNICE - BEIGE
  - 15 METAL CORNICE - MEDIUM GRAY
  - 16 METAL CORNICE & CANOPY - DARK GRAY
  - 17 METAL CORNICE - FEATURE LIGHT GRAY
  - 18 ALUMINUM OVERHEAD DOOR
  - 19 METAL BALCONY - DARK GRAY
  - 20 DECORATIVE GRILLS - DARK GRAY
  - 21 VINYL WINDOWS - DARK GREY/WHITE
  - 22 CEMENTITIOUS BOARD - FEATURE MEDIUM GRAY



\*NOTE: REFER TO CIVIL FOR AVERAGE GRADE.  
\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.





\*NOTE: REFER TO CIVIL FOR AVERAGE GRADE.  
 \*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.  
 \*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.

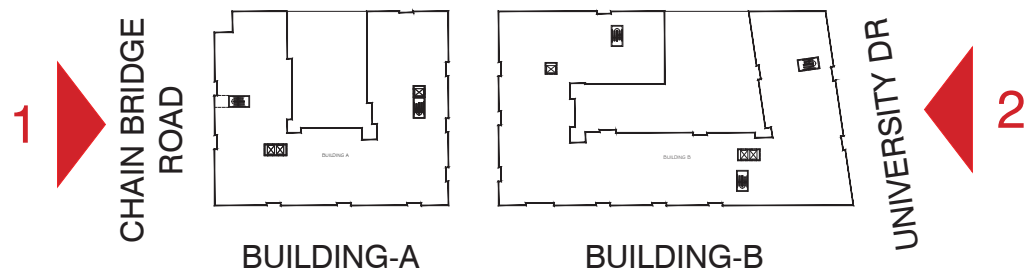




BUILDING - A  
ELEVATION - 1 (CHAIN BRIDGE RD)



BUILDING - B  
ELEVATION - 2 (UNIVERSITY DR)



KEY PLAN

\*NOTE: REFER TO SHEET A.28 AND A.29 FOR MATERIAL INFORMATION

\*NOTE: REFER TO CIVIL FOR AVERAGE GRADE.

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS.

\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDESIGN.COM

## ENLARGED ELEVATIONS

4131 CHAIN BRIDGE ROAD

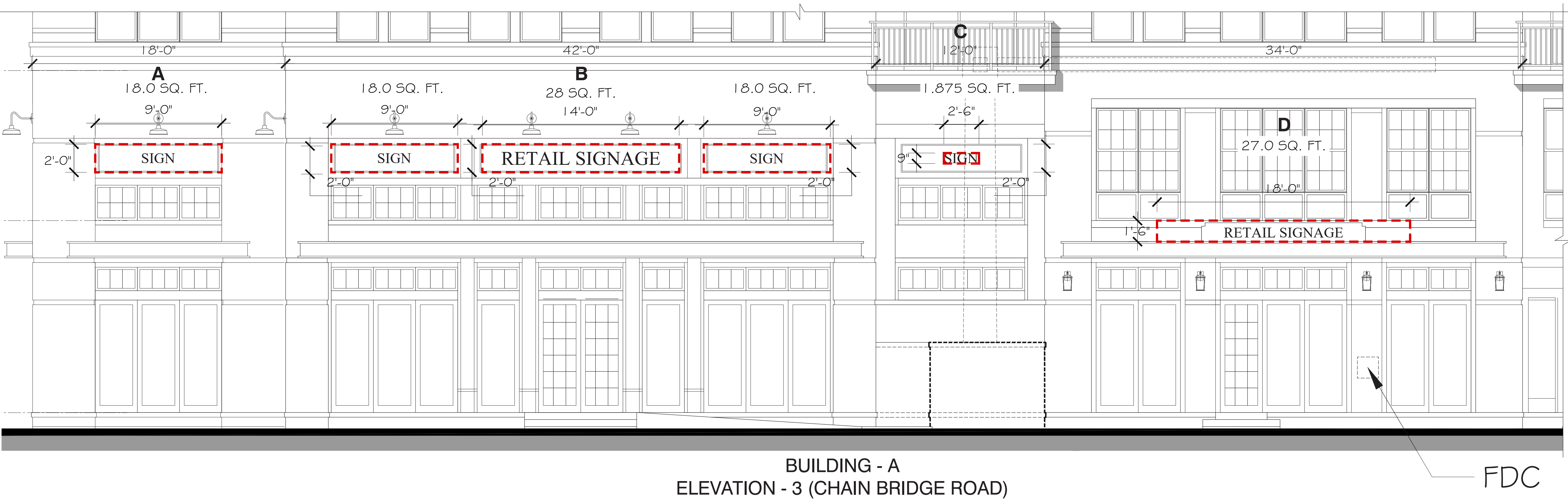
CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

APR. 15, 2025  
PDM.015

0' 4' 8' 16'  
SCALE: 1/8" = 1'-0" (@ 22"x34")

A.33





**A. 18' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 18.00 LINEAR FEET.  
ALLOWED SIGN AREA: 36.00 SQ. FT.  
PROPOSED SIGN: 2' X 9' = 18.00 SQ. FT.

**B. 42' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 42.00 LINEAR FEET.  
ALLOWED SIGN AREA: 84.00 SQ. FT.  
PROPOSED SIGNS:  
2' X 9' = 18.00 SQ. FT.  
2' X 14' = 28.00 SQ. FT.  
2' X 9' = 18.00 SQ. FT.  
TOTAL PROPOSED SIGN AREA: 64 SQ. FT.

**C. 12' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 12.00 LINEAR FEET.  
ALLOWED SIGN AREA: 24.00 SQ. FT.  
PROPOSED SIGN: 0.75' X 2.5' = 1.875 SQ. FT.

**D. 34' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 34.00 LINEAR FEET.  
ALLOWED SIGN AREA: 68.00 SQ. FT.  
PROPOSED SIGN: 1.5' X 18' = 27.00 SQ. FT.

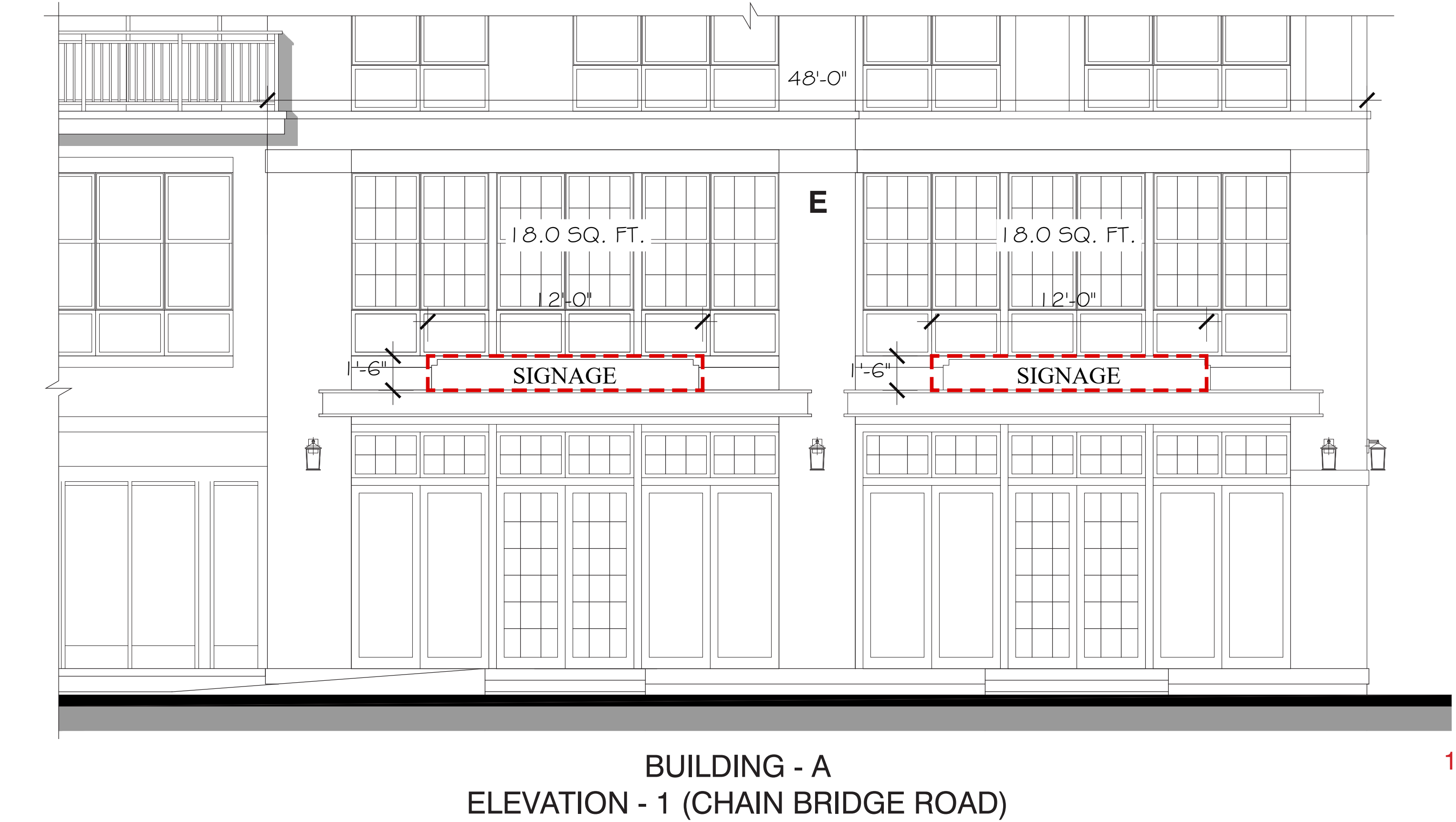
**COMPLIANCE NOTES -**

**A. PERMANENT SIGN REQUIREMENTS, (CITY CODE § 110-4.6.10.A) :**

1. AWNING OR CANOPY SIGNS CAN NOT BE MORE THAN 15 SQ. FT.
2. SIGNS MAY BE ILLUMINATED.
3. SIGNS WALLS NOT EXCEED OUTSIDE THE OVER ALL LENGTH OR WIDTH OF AN AWNING OR CANOPY, OR EXTEND ABOVE THE HEIGHT OF THE BUILDINGALL TO WHICH THE AWNING OR CANOPY IS ATTACHED.

**B. BUILDING-MOUNTED WALL SIGN REQUIREMENTS, (CITY CODE §110-4.6.10D) :**

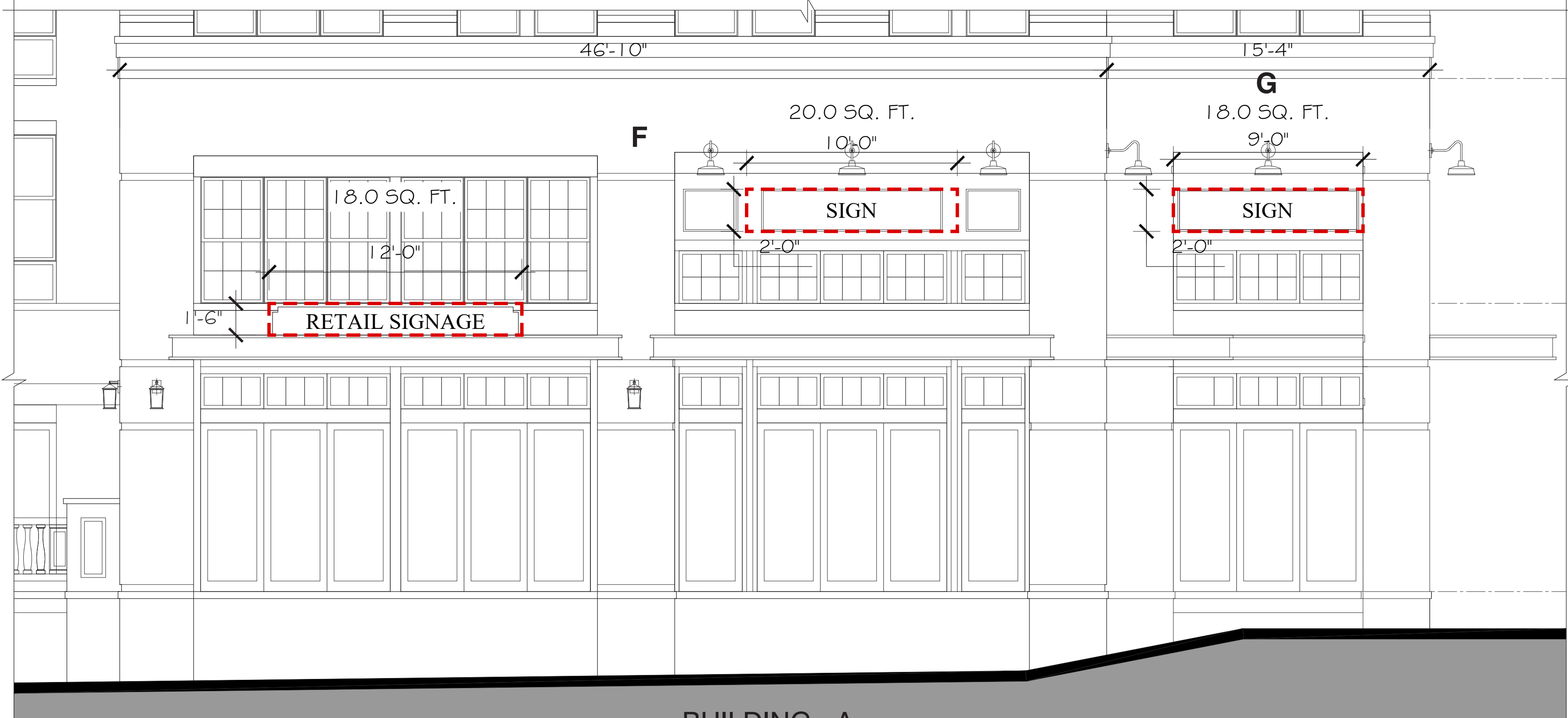
1. WALL SIGNS SHALL BE NO MORE THAN 2 SQ. FT. IN AREA, PER LINEAR FOOT OF A BUILDING'S FRONTAGE.
2. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE THE ROOF LINE OF A BUILDING.
3. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE TOP OF A BUILDING
4. NO WALL SIGN MAY EXTEND THE ABOVE THE LOWER EAVE LINE OF A BUILDING WITH A FLAT, PITCHED OR GAMBREL ROOF.
5. WALL SIGNS SHALL NOT EXTEND MORE THAN 12 INCHES FROM THE BUILDING FACE TO WHICH THEY ARE ATTACHED.
6. WALL SIGNS SHALL NOTE EXTEND BEYOND THE PERIMETER OF ANY BUILDING EDGE.
7. WALL SIGNS MAY BE LOCATED ON A PARAPET THAT EXTENDS NO MORE THAN FIVE FEET ABOVE THE LOWEST EAVE OF THE ROOF.



**E. 48' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 48.00 LINEAR FEET.  
ALLOWED SIGN AREA: 96.00 SQ. FT.  
PROPOSED SIGNS:  
1.5' X 12' = 18.00 SQ. FT.)  
1.5' X 12' = 18.00 SQ. FT.  
TOTAL PROPOSED SIGN AREA: 36 SQ. FT.

**NOTE:** THE TEXT SHOWN IN THE PROPOSED SIGN AREAS IS FOR ILLUSTRATION PURPOSES ONLY, THE RED-DASHED RECTANGLES REPRESENT THE SIGN AREA, THEIR SPECIFIC TEXT CONTENTS AND FONT TYPE AND SIZE ARE TO BE DEFINED AS THE PROJECT EVOLVES, WHEN SPECIFIC RETAIL TENANT IS AVAILABLE AND MARKETING DEVELOPMENT NAME HAS BEEN DEFINED. FUTURE, TO-BE-DEFINED SIGNAGE DETAILS ARE TO REMAIN WITHIN THE PROPOSED RED-DASHED RECTANGLES.





BUILDING - A  
ELEVATION - 2 (INTERNAL DRIVEWAY)

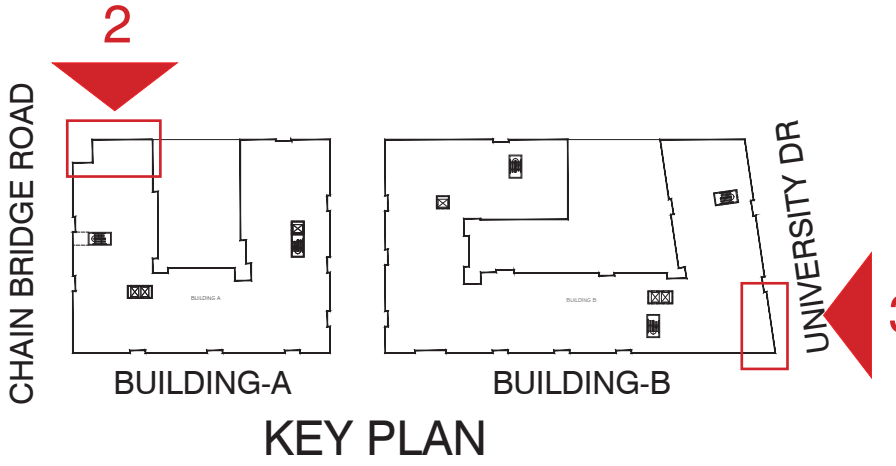
**F. 46'-10" WIDE WALL:**  
WALL LENGTH (FRONTAGE): 46.83 LINEAR FEET.  
ALLOWED SIGN AREA: 93.66 SQ. FT.  
PROPOSED SIGNS:  
1.5' X 12' = 18.00 SQ. FT.  
2' X 10' = 20.00 SQ. FT.  
TOTAL PROPOSED SIGN AREA: 38 SQ. FT.

**G. 15'-4" WIDE WALL:**  
WALL LENGTH (FRONTAGE): 15.33 LINEAR FEET.  
ALLOWED SIGN AREA: 30.66 SQ. FT.  
PROPOSED SIGN: 2' X 9' = 18.00 SQ. FT.

**H. 48'-0" WIDE WALL:**  
WALL LENGTH (FRONTAGE): 48.00 LINEAR FEET.  
ALLOWED SIGN AREA: 96.00 SQ. FT.  
PROPOSED SIGN: 1.5' X 15' = 22.50 SQ. FT.



BUILDING - B  
ELEVATION - 3 (UNIVERSITY DRIVE)



### COMPLIANCE NOTES -

#### A. PERMANENT SIGN REQUIREMENTS, (CITY CODE § 110-4.6.10.A) :

1. AWNING OR CANOPY SIGNS CAN NOT BE MORE THAN 15 SQ. FT.
2. SIGNS MAY BE ILLUMINATED.
3. SIGNS WALLS NOT EXCEED OUTSIDE THE OVER ALL LENGTH OR WIDTH OF AN AWNING OR CANOPY, OR EXTEND ABOVE THE HEIGHT OF THE BUILDINGALL TO WHICH THE AWNING OR CANOPY IS ATTACHED.

#### B. BUILDING-MOUNTED WALL SIGN REQUIREMENTS, (CITY CODE §110-4.6.10D) :

1. WALL SIGNS SHALL BE NO MORE THAN 2 SQ. FT. IN AREA, PER LINEAR FOOT OF A BUILDING'S FRONTAGE.
2. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE THE ROOF LINE OF A BUILDING.
3. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE TOP OF A BUILDING
4. NO WALL SIGN MAY EXTEND THE ABOVE THE LOWER EAVE LINE OF A BUILDING WITH A FLAT, PITCHED OR GAMBREL ROOF.
5. WALL SIGNS SHALL NOT EXTEND MORE THAN 12 INCHES FROM THE BUILDING FACE TO WHICH THEY ARE ATTACHED.
6. WALL SIGNS SHALL NOTE EXTEND BEYOND THE PERIMETER OF ANY BUILDING EDGE.
7. WALL SIGNS MAY BE LOCATED ON A PARAPET THAT EXTENDS NO MORE THAN FIVE FEET ABOVE THE LOWEST EAVE OF THE ROOF.

**NOTE:** THE TEXT SHOWN IN THE PROPOSED SIGN AREAS IS FOR ILLUSTRATION PURPOSES ONLY, THE RED-DASHED RECTANGLES REPRESENT THE SIGN AREA, THEIR SPECIFIC TEXT CONTENTS AND FONT TYPE AND SIZE ARE TO BE DEFINED AS THE PROJECT EVOLVES, WHEN SPECIFIC RETAIL TENANT IS AVAILABLE AND MARKETING DEVELOPMENT NAME HAS BEEN DEFINED. FUTURE, TO-BE-DEFINED SIGNAGE DETAILS ARE TO REMAIN WITHIN THE PROPOSED RED-DASHED RECTANGLES.



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDESIGN.COM

## SIGNAGE EXHIBIT - 2

4131 CHAIN BRIDGE ROAD

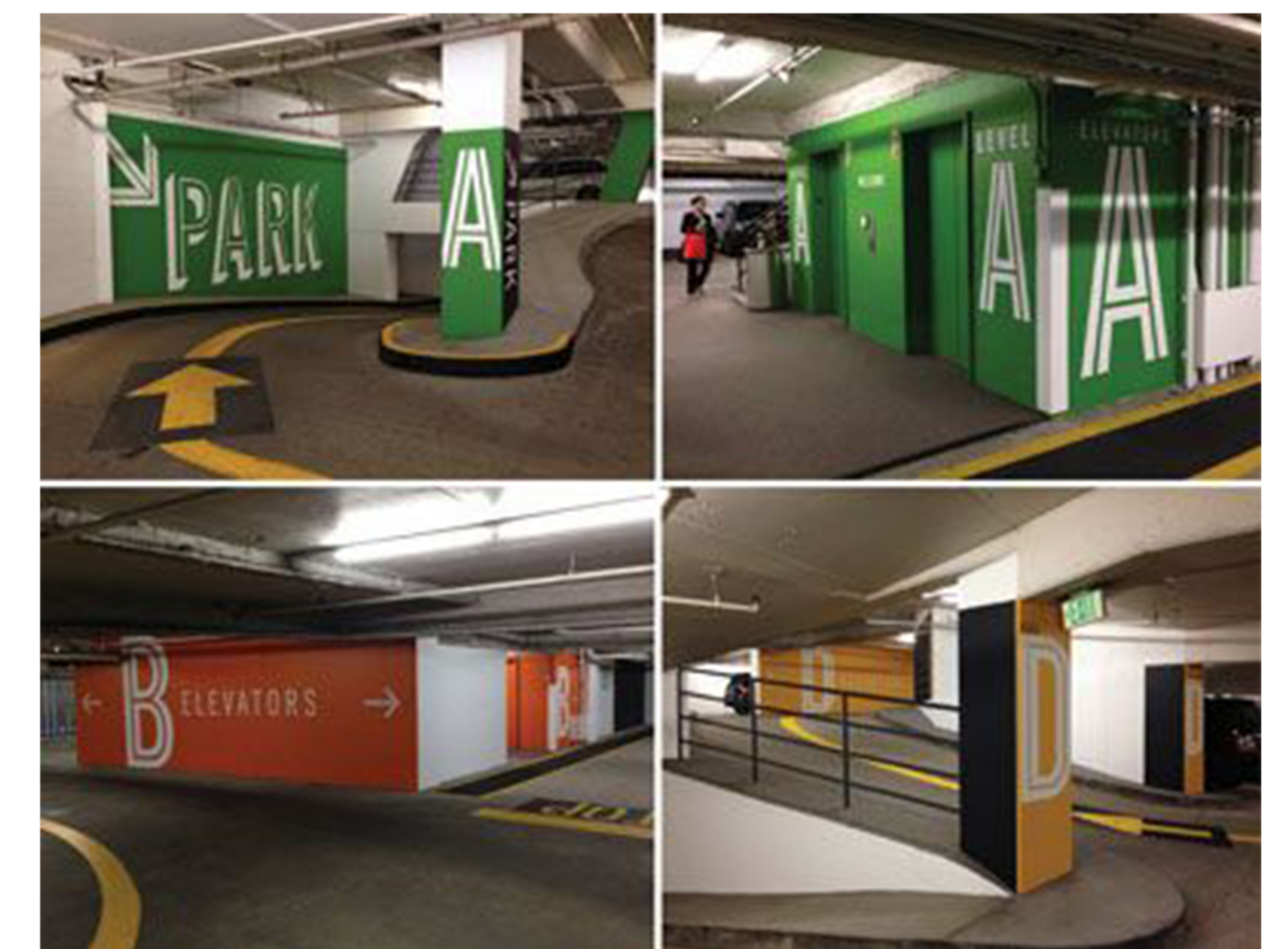
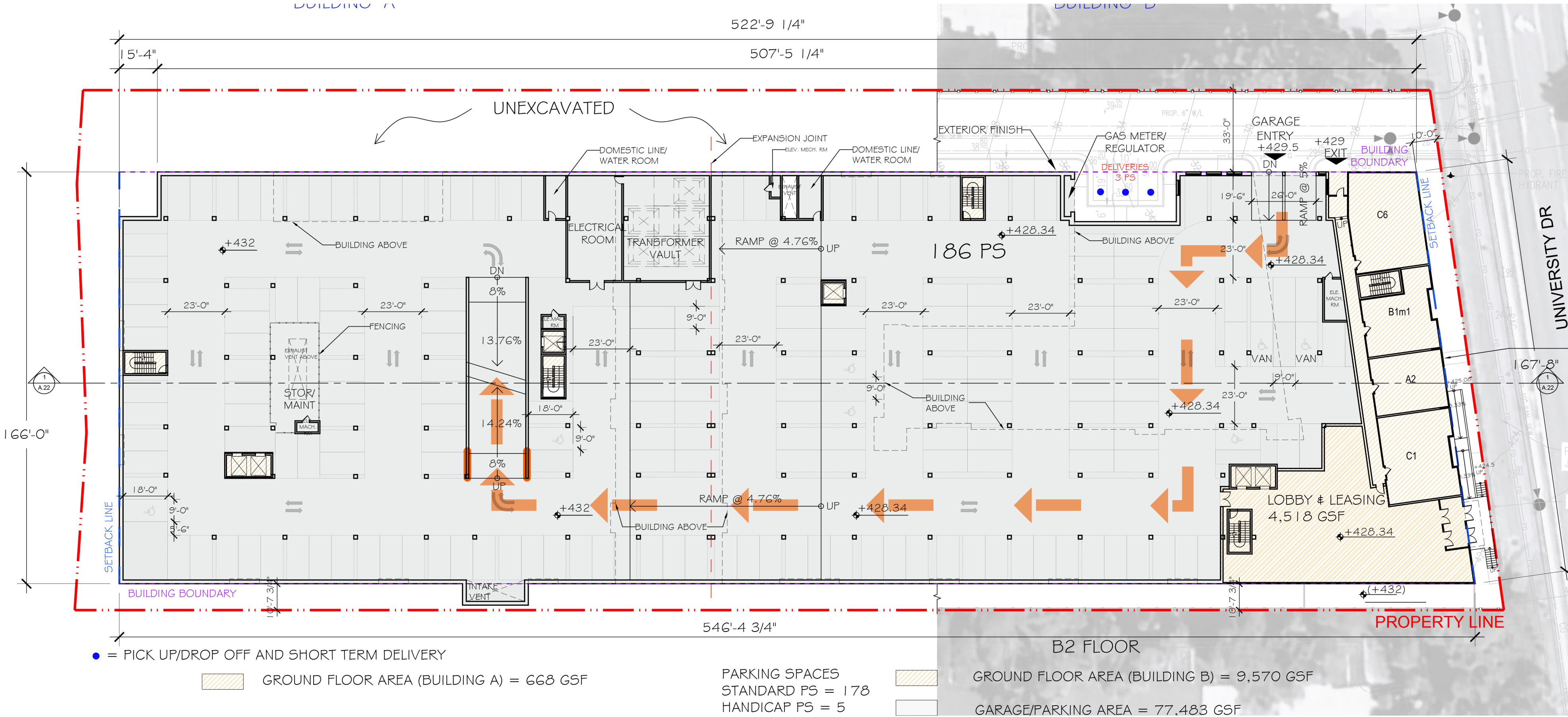
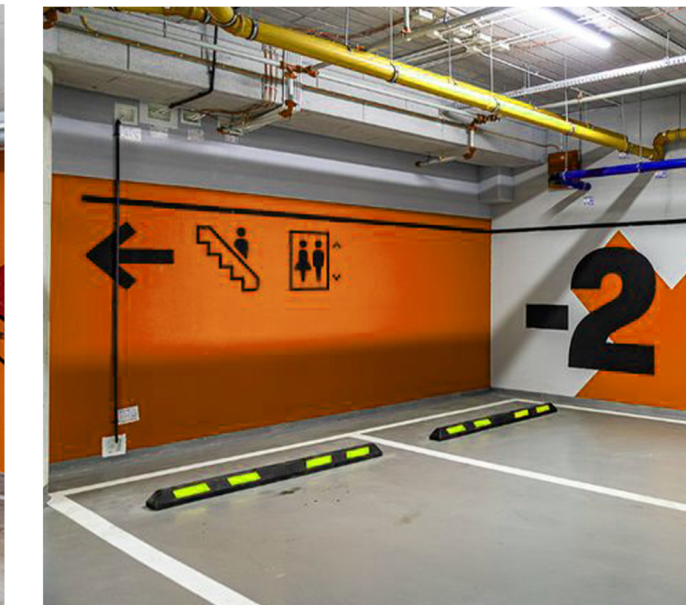
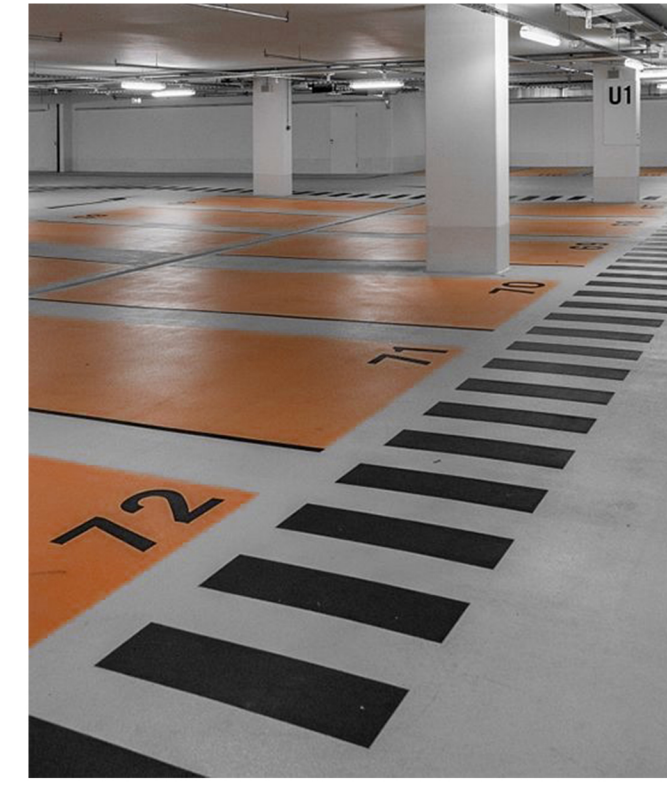
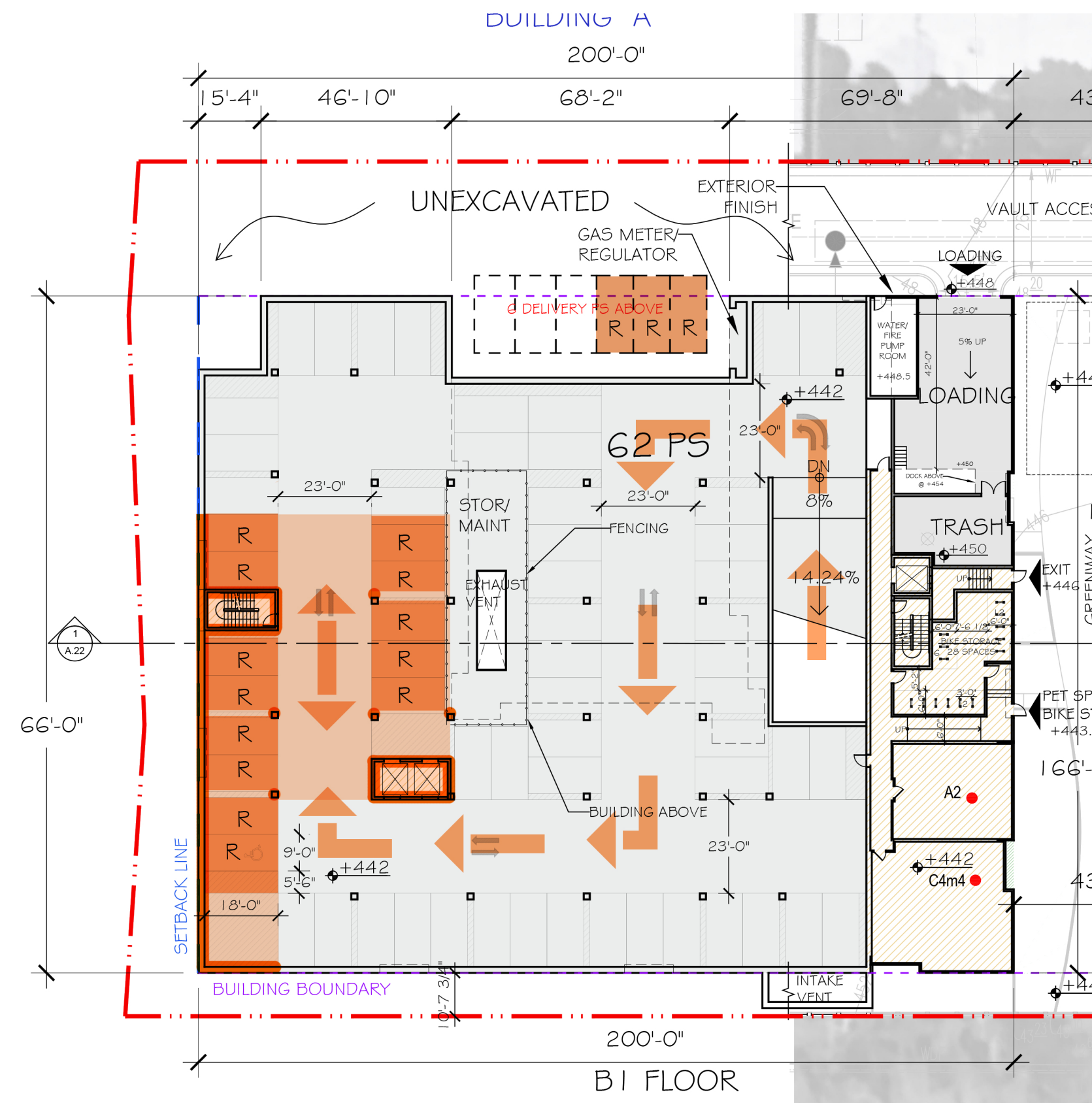
CITY OF FAIRFAX ,VA  
PARADIGM DEVELOPMENT

APR.15, 2025  
PDM.015

0' 2' 4' 8'  
SCALE: 1/4" = 1'-0" (@ 22"x34")

A.35





#### RETAIL PARKING WAYFINDING STRATEGIES INCLUDE:

- COLOR CODED DIRECTIONAL ARROWS ON THE DRIVING SURFACE.
- COLOR CODED WALLS WITH DIRECTIONAL GRAPHICS.
- COLOR CODED RETAIL PARKING ZONE
- COLOR CODED RETAIL STALLS
- HIGHLIGHTED COLOR CODED WALLS @ ELEVATORS, STAIRS AND SURROUNDING RETAIL PARKING



MATERIAL LEGEND

- 01 BRICK - RED
- 02 BRICK - BURGUNDY
- 03 BRICK - BURGUNDY / GRAY RANGE
- 04 BRICK - TAN
- 05 BRICK - BLACK IRONSPOT
- 06 STANDING SEAM ROOF - BLACK
- 07 SIDING - MEDIUM GRAY
- 08 SIDING - DARK GRAY
- 09 CEMENTITIOUS BOARD - MEDIUM GRAY
- 10 CEMENTITIOUS BOARD - DARK GRAY
- 11 CEMENTITIOUS BOARD - FEATURE LIGHT GRAY
- 12 FIBER CEMENT TRIM - WHITE
- 13 ARCHITECTURAL STONE - BEIGE
- 14 METAL CORNICE - BEIGE
- 15 METAL CORNICE - MEDIUM GRAY
- 16 METAL CORNICE & CANOPY - DARK GRAY
- 17 METAL CORNICE - FEATURE LIGHT GRAY
- 18 ALUMINUM OVERHEAD DOOR
- 19 METAL BALCONY - DARK GRAY
- 20 DECORATIVE GRILLS - DARK GRAY
- 21 VINYL WINDOWS - DARK GREY/WHITE
- 22 CEMENTITIOUS BOARD - FEATURE MEDIUM GRAY



1



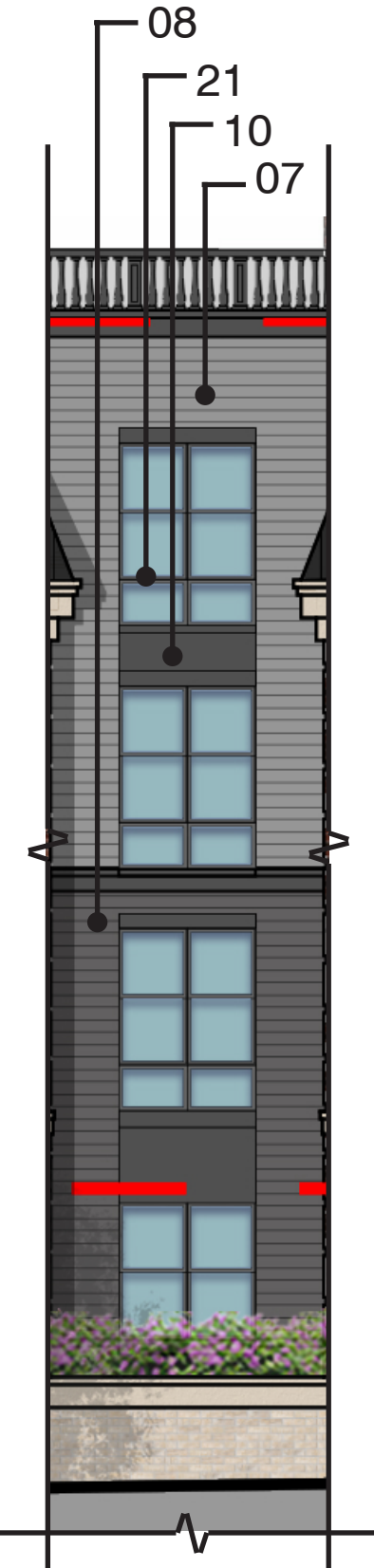
2



3



4



5



6

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS

\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.



8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDDESIGN.COM

ARCHITECTURAL PALETTES

©2025 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY OTHER FORM OR MATTER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN INC.

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA

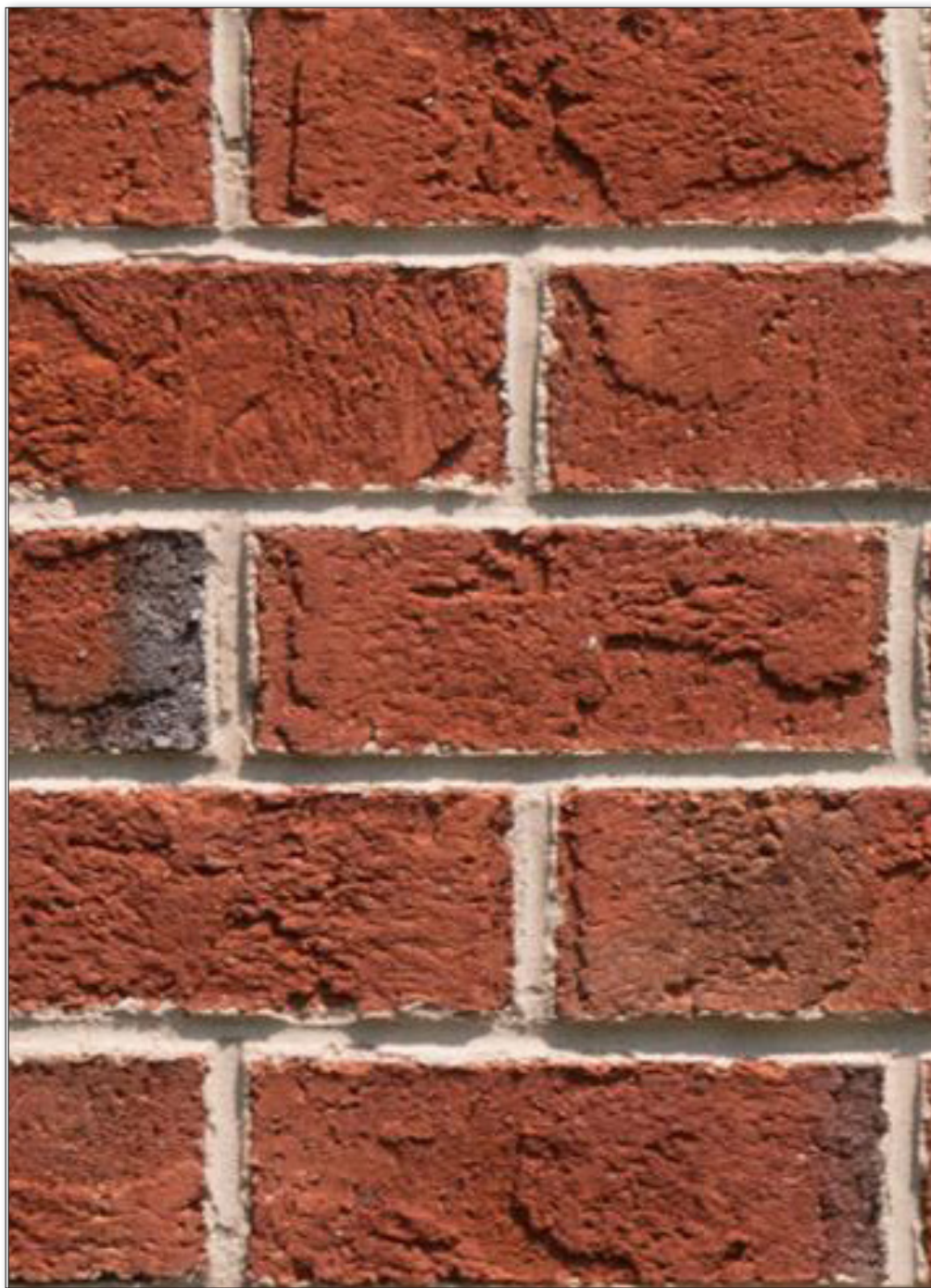
PARADIGM DEVELOPMENT

APR.15, 2025  
PDM.015

0' 4' 8' 16'  
SCALE: 1/8" = 1'-0" (@ 22"x34")

A.37





01

**BRICK 1**  
RED  
MANUFACTURER: TRIANGLE  
BRICK  
COLOR: CAPE COD



02

**BRICK 2**  
BURGUNDY  
MANUFACTURER: ENDICOTT  
CLAY PRODUCTS CO.  
COLOR: BURGUNDY SANDS



03

**BRICK 3**  
BURGUNDY / GRAY RANGE  
MANUFACTURER: POTOMAC  
VALLEY BRICK AND SUPPLY CO.  
COLOR: GS MERIDIAN MOULTRIE



04

**BRICK 4**  
TAN  
MANUFACTURER: BELDEN BRICK  
COMPANY  
COLOR: WINTER MIST



05

**BRICK 5**  
BLACK IRONSPOT  
MANUFACTURER: TAYLOR CLAY  
PRODUCTS  
COLOR: BLACK ONYX



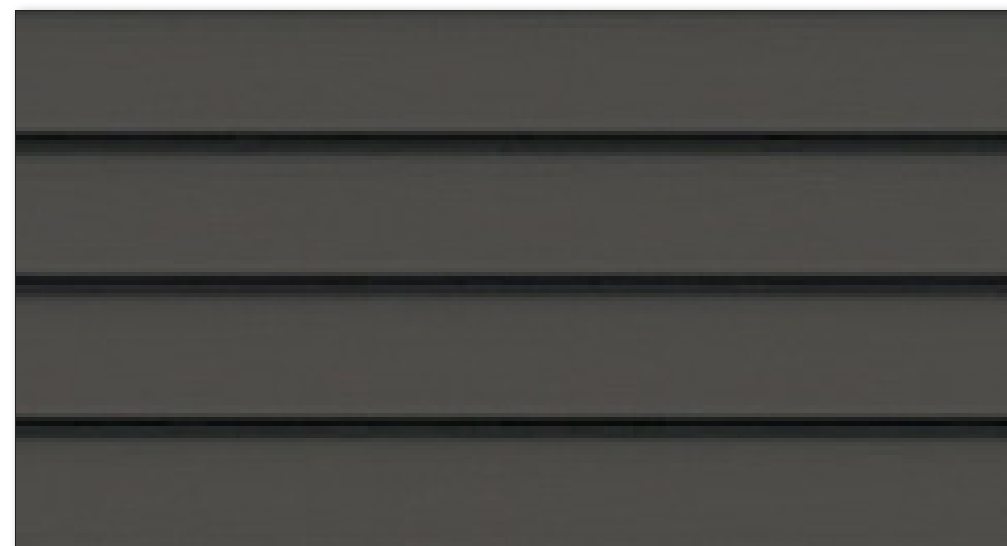
06

**STANDING SEAM ROOF**  
BLACK  
MANUFACTURER: BEST BUY  
METALS  
COLOR: BLACK



07

**SIDING**  
MEDIUM GRAY  
MANUFACTURER: JAMES HARDIE  
COLOR: PEARL GRAY



08

**SIDING**  
DARK GREY  
MANUFACTURER: JAMES HARDIE  
COLOR: NIGHT GRAY



09

**CEMENTITIOUS BOARD**  
MEDIUM GRAY  
MANUFACTURER: JAMES HARDIE

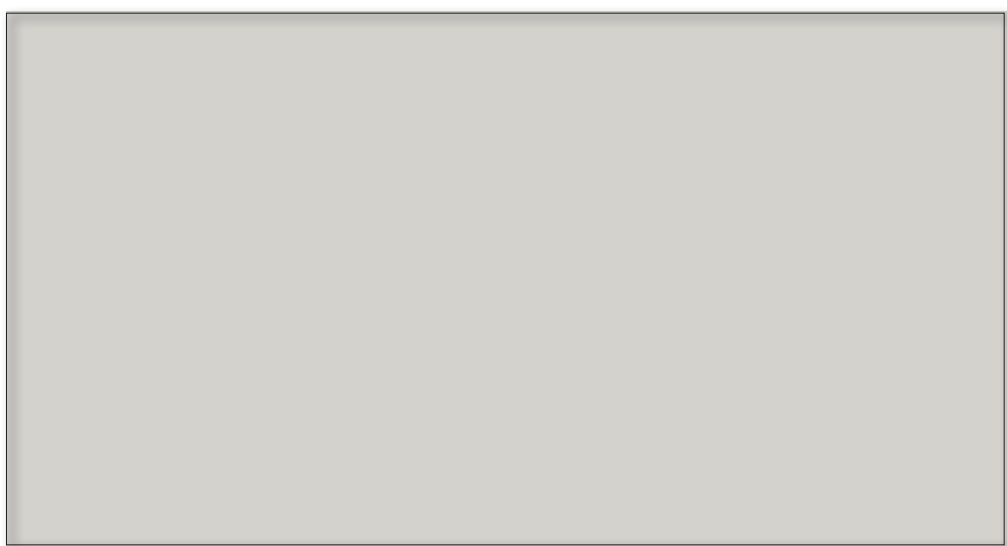


10

**CEMENTITIOUS BOARD**  
DARK GRAY  
MANUFACTURER: JAMES HARDIE

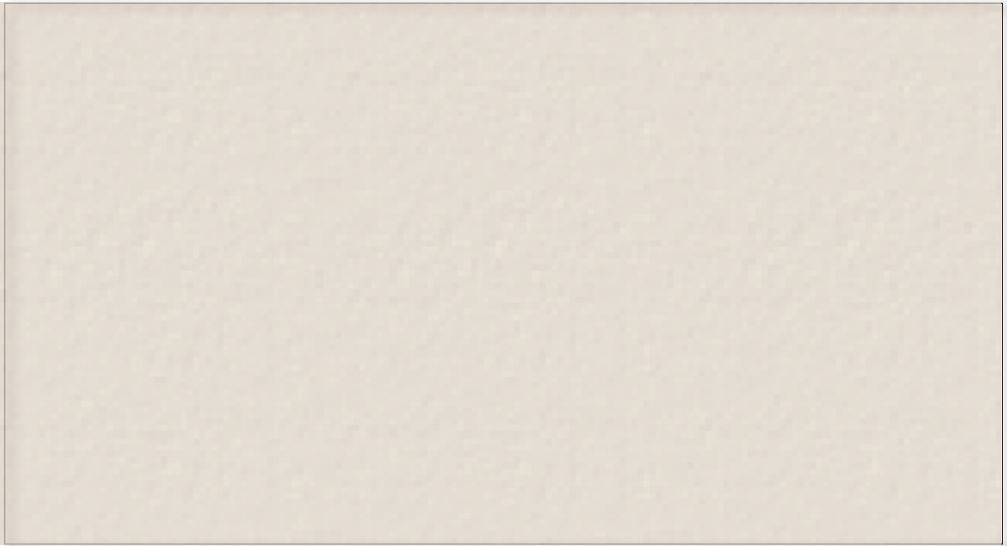
\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.





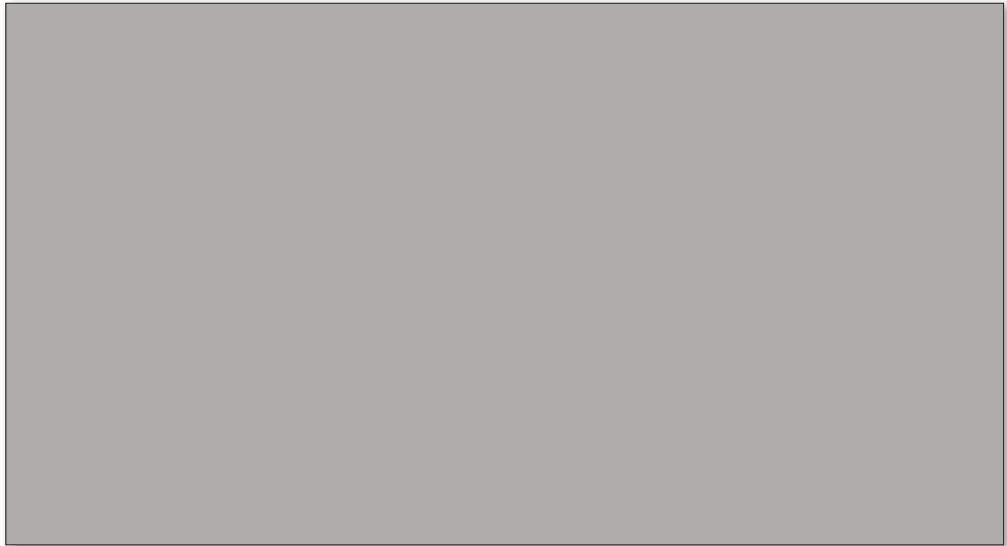
11

**CEMENTITIOUS BOARD**  
FEATURE LIGHT GRAY  
MANUFACTURER: JAMES HARDIE



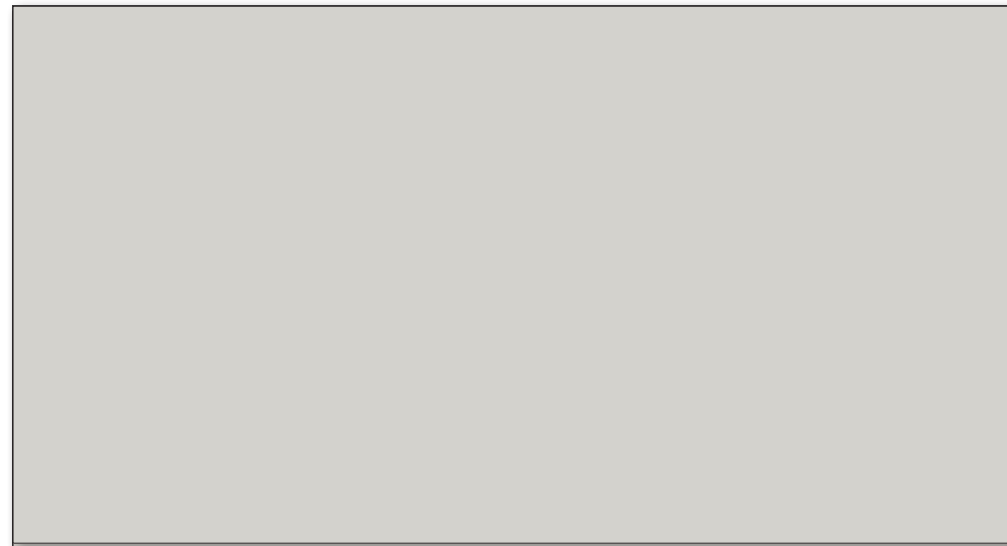
13

**ARCHITECTURAL STONE**  
BEIGE  
MANUFACTURER: ARRISCRAFT  
COLOR: LIMESTONE



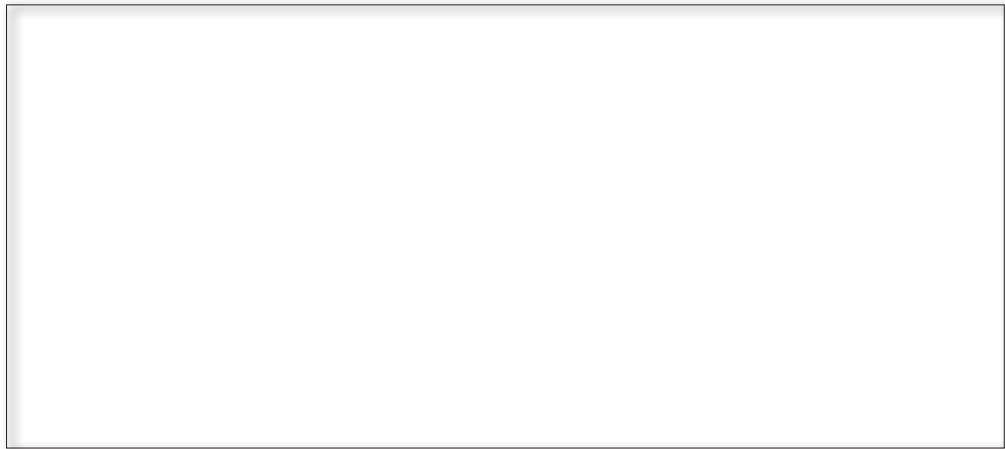
15

**METAL CORNICE**  
MEDIUM GRAY  
MANUFACTURER: CENTRIA  
COLOR: TBD



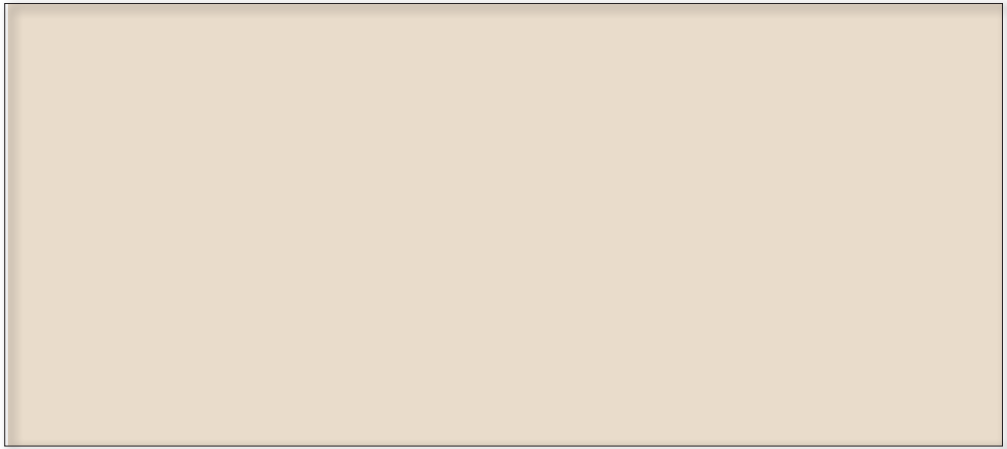
17

**METAL CORNICE**  
FEATURE LIGHT GRAY  
MANUFACTURER: CENTRIA  
COLOR: TBD



12

**FIBER CEMENT TRIM**  
WHITE  
MANUFACTURER: JAMES HARDIE  
COLOR: ACRYLIC WHITE



14

**METAL CORNICE**  
BEIGE  
MANUFACTURER: CENTRIA  
COLOR: 1760 LIMESTONE



16

**METAL CORNICE AND CANOPY**  
DARK GRAY  
MANUFACTURER: CENTRIA  
COLOR: GRAY VELVET



18

**GARAGE & LOADING OVERHEAD DOOR**  
ALUMINUM PAINTED  
MANUFACTURER: CENTRIA  
COLOR: TO MATCH #13



19

**METAL BALCONY**  
-DARK GRAY FASCIA  
-BLACK RAIL  
POWDERCOATED TO MATCH #13



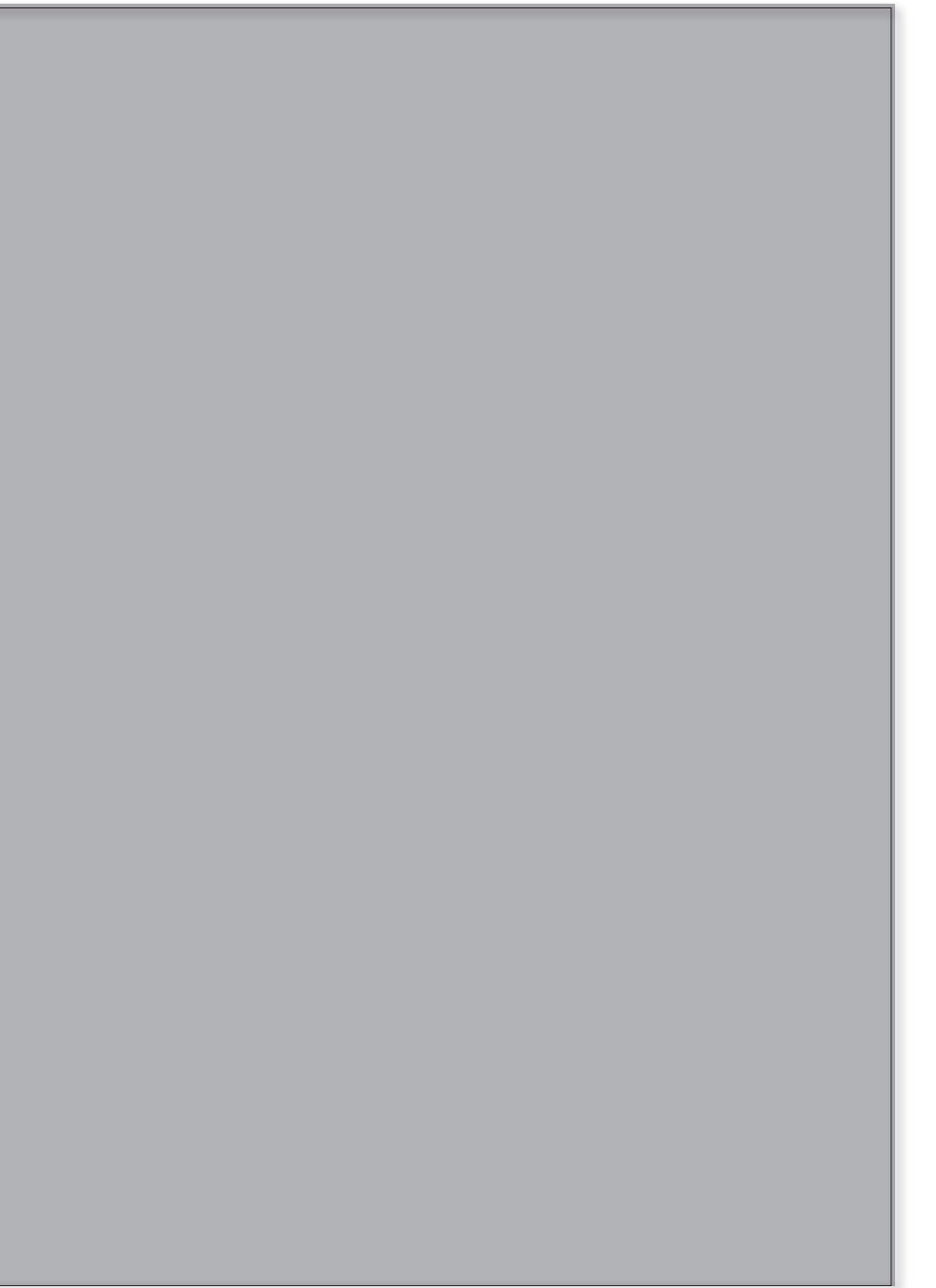
20

**DECORATIVE GRILLS**  
DARK GRAY  
POWDERCOATED TO MATCH #13



21

**VINYL WINDOWS**  
-DARK GRAY/WHITE  
- DECORATIVE MUNTINS  
DEPENDING ON GROUPING AND  
AND ARCH. CHARACTER  
MANUFACTURER: MI  
COLOR: BLACK/WHITE



22

**CEMENTITIOUS BOARD**  
FEATURE MEDIUM GRAY  
MANUFACTURER: JAMES HARDIE

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS  
\*NOTE: IN THE EVENT OF VALUE ENGINEERING NEEDS, STANDING SEAM ROOF MAY BE SUBSTITUTED WITH UPSCALE ARCHITECTURAL ASPHALT SHINGLES.