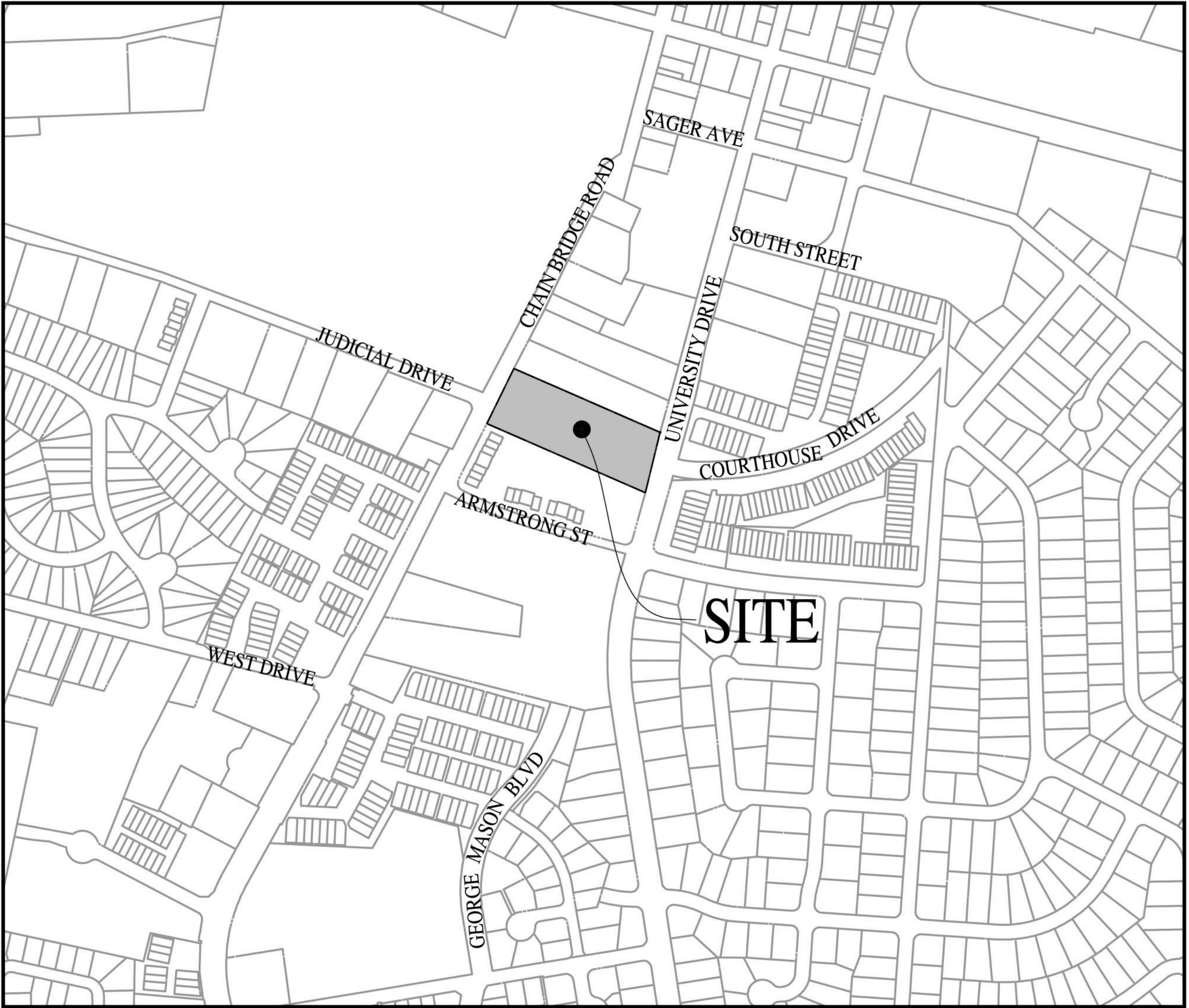


4131 CHAIN BRIDGE ROAD  
DAVIES PROPERTY  
BOARD OF ARCHITECTURAL REVIEW  
CITY OF FAIRFAX, VIRGINIA

DECEMBER 4th - 2024 - REVISED

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VICINITY MAP  
SCALE: 1"=300'

COVER SHEET

4131 CHAIN BRIDGE ROAD  
CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

DEC. 04, 2024  
PDM.015

A.00



PROPERTY OWNER / APPLICANT

THE HILL, A DAVIES FAMILY LLC  
C/O DAVIES & DAVIES  
5531 LEE HWY  
SUITE 206  
ARLINGTON, VA 22207

DEVELOPER

PARADIGM DEVELOPMENT COMPANY  
1415 NORTH COURTHOUSE ROAD SUITE 600  
ARLINGTON, VA 22201-2909  
PH. 703-527-7500  
CONTACT: MICHELINE CASTAN-SMITH

LEGAL COUNSEL

BEAN KINNEY & KORMAN  
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ARLINGTON, VA 22201  
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CONTACT: DAVID HOUSTON

ARCHITECT/PLANNER

LESSARD DESIGN  
8521 LEESBURG PIKE, SUITE 700  
VIENNA, VA 22182  
PH. 571-830-1869  
CONTACT: ULISES MONTES DE OCA

ENGINEER

URBAN, LTD.  
4200 D TECHNOLOGY COURT  
CHANTILLY, VA 20151  
PH. 703-642-2306  
CONTACT: CLAYTON TOCK

LANDSCAPE ARCHITECT

URBAN, LTD.  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VA 22003  
PH. 703-642-8080  
CONTACT: JOHN LIGHTLE

TRAFFIC ENGINEER

GOROVE SLADE ASSOCIATES  
15125 WASHINGTON STREET SUITE 316  
HAYMARKET, VA 20169  
PH. 571-248-0992  
CONTACT: SASHA REDMON



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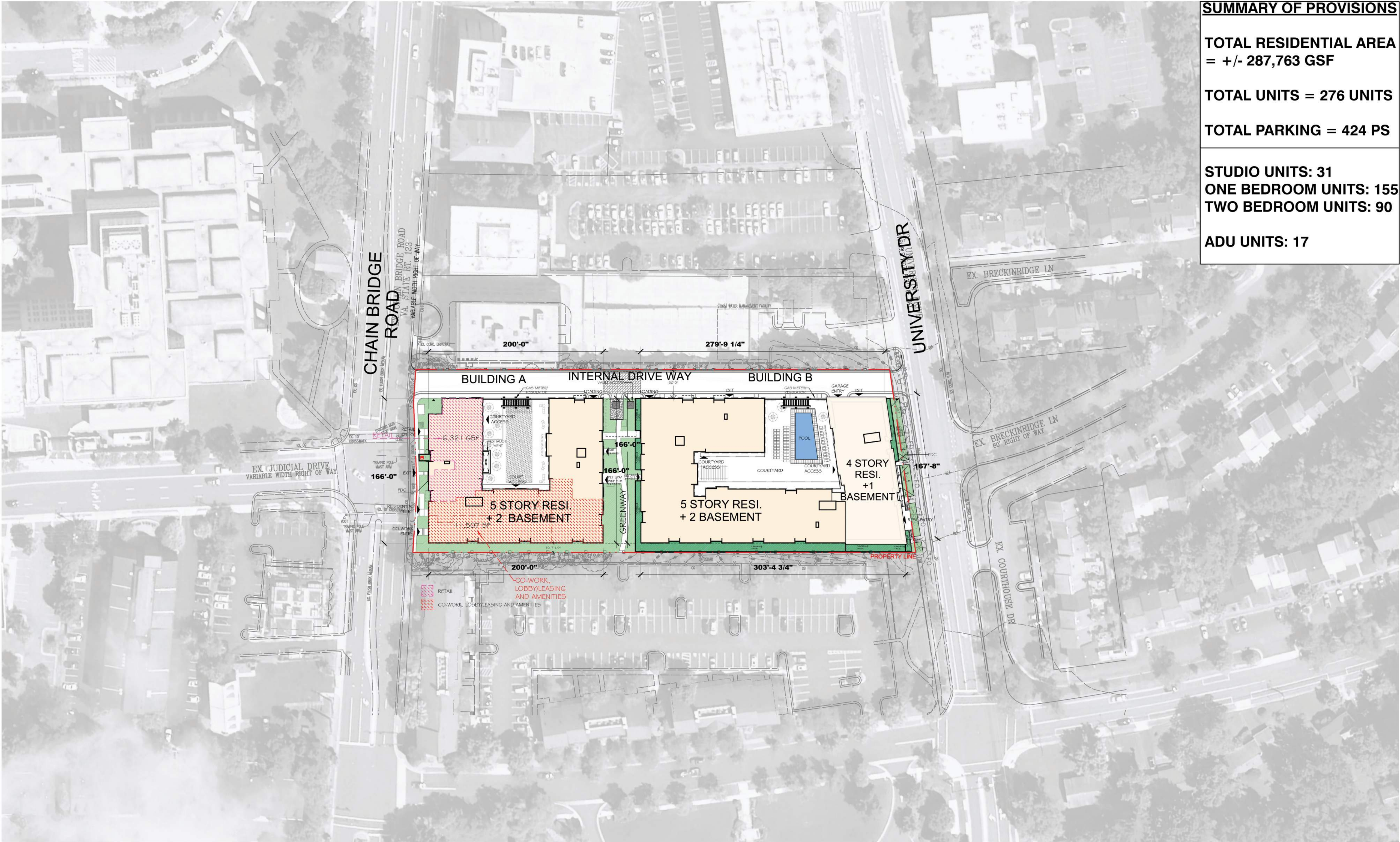


\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
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REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.

## EXISTING CONDITIONS







**SUMMARY OF PROVISIONS**

**TOTAL RESIDENTIAL AREA**  
= +/- 287,763 GSF

**TOTAL UNITS = 276 UNITS**

**TOTAL PARKING = 424 PS**

**STUDIO UNITS: 31**  
**ONE BEDROOM UNITS: 155**  
**TWO BEDROOM UNITS: 90**

**ADU UNITS: 17**

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**ILLUSTRATIVE SITE PLAN**

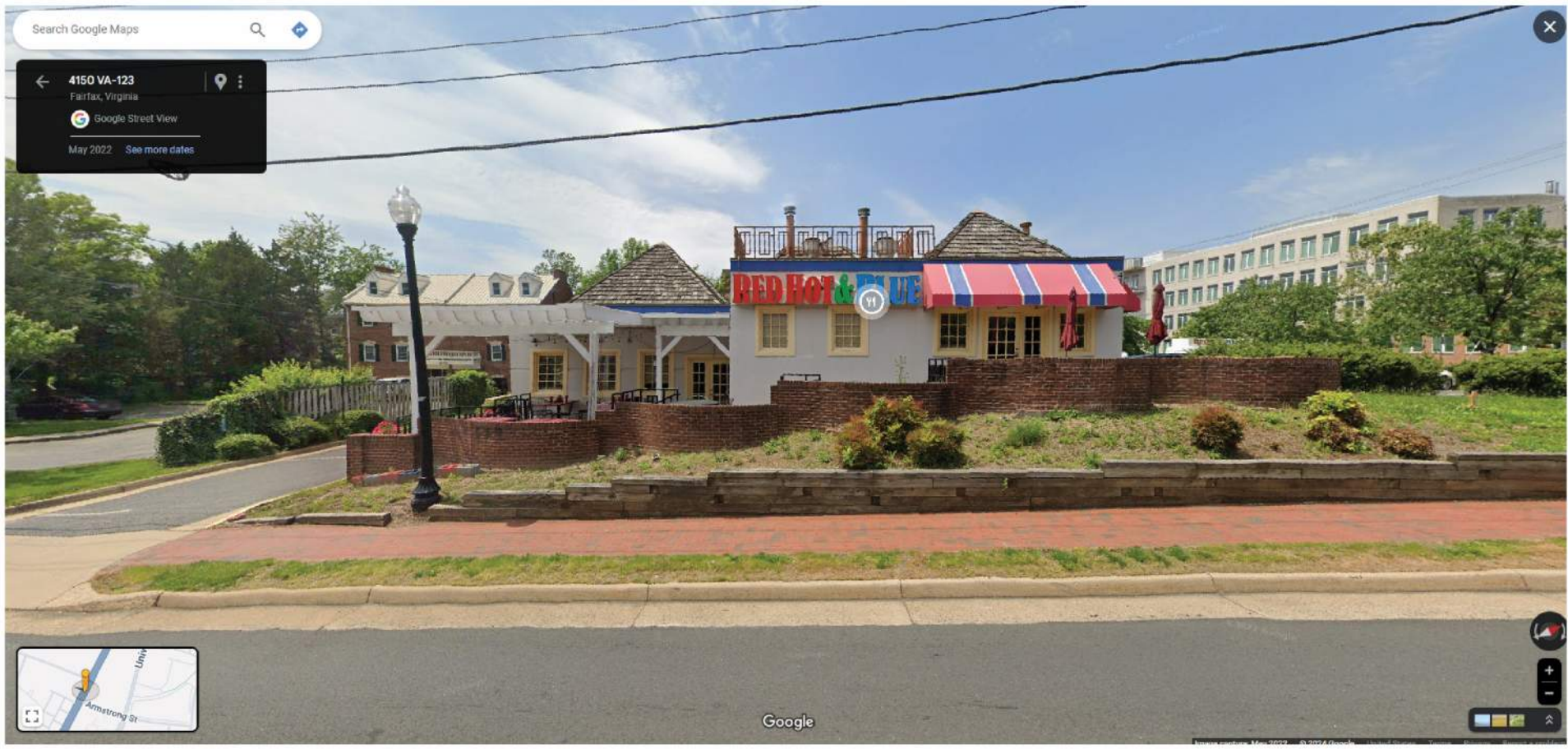




1) CHAINBRIDGE- LOOKING NORTH



2) CHAINBRIDGE- SOUTH PROPERTY- 1



3) CHAINBRIDGE- SOUTH PROPERTY- ACROSS ST- 1



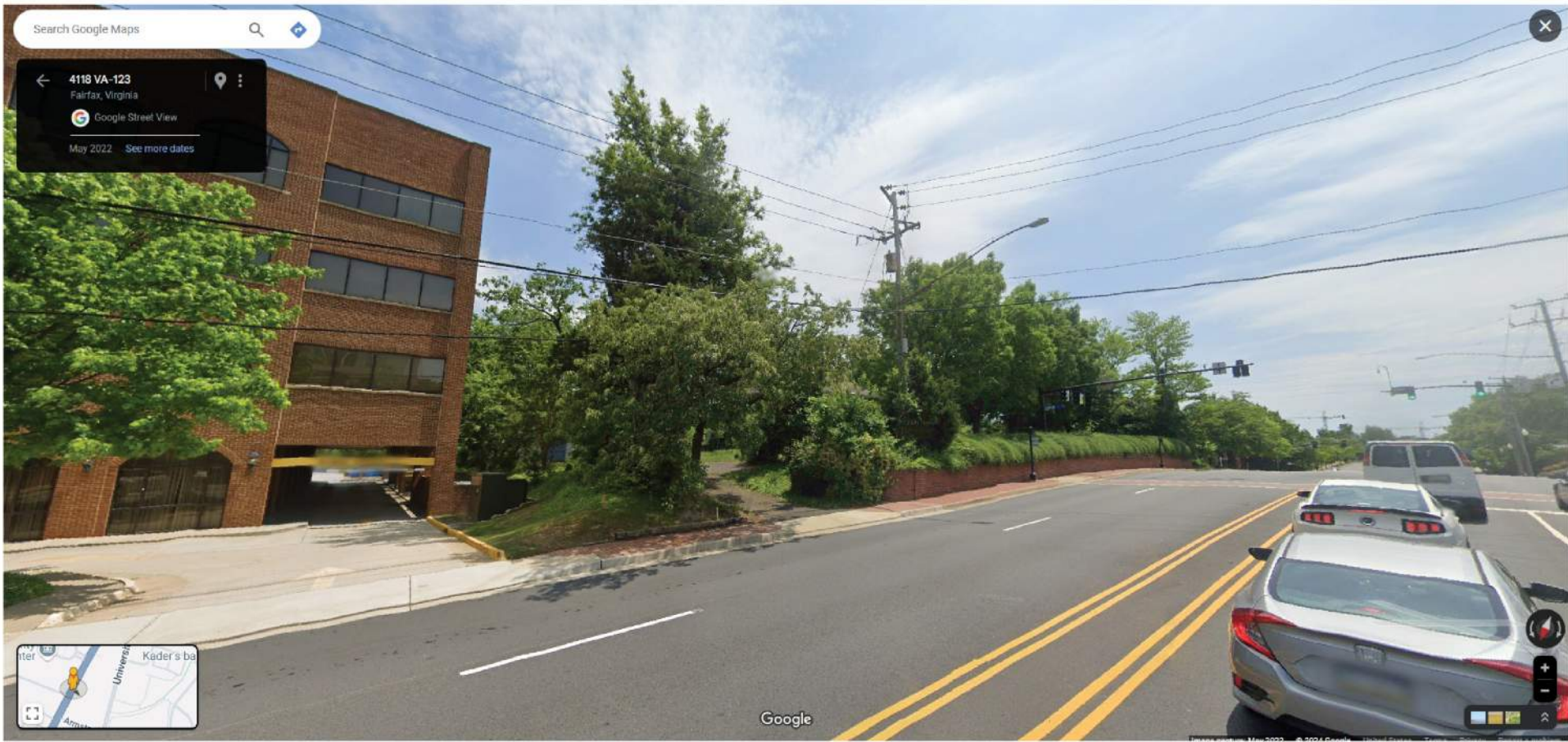
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5) CHAINBRIDGE- NORTH PROPERTY- ACROSS ST



6) CHAINBRIDGE- NORTH PROPERTIES- 1



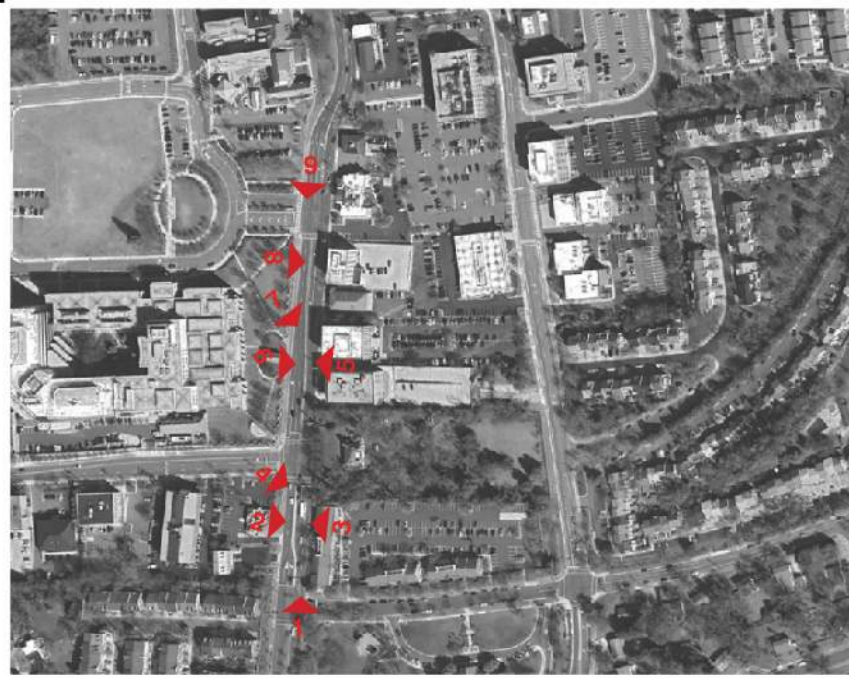
7) SITE- NW LOOKING SE



8) CHAINBRIDGE- NORTH PROPERTIES- 2



9) CHAINBRIDGE- LOOKING SOUTH



KEY PLAN

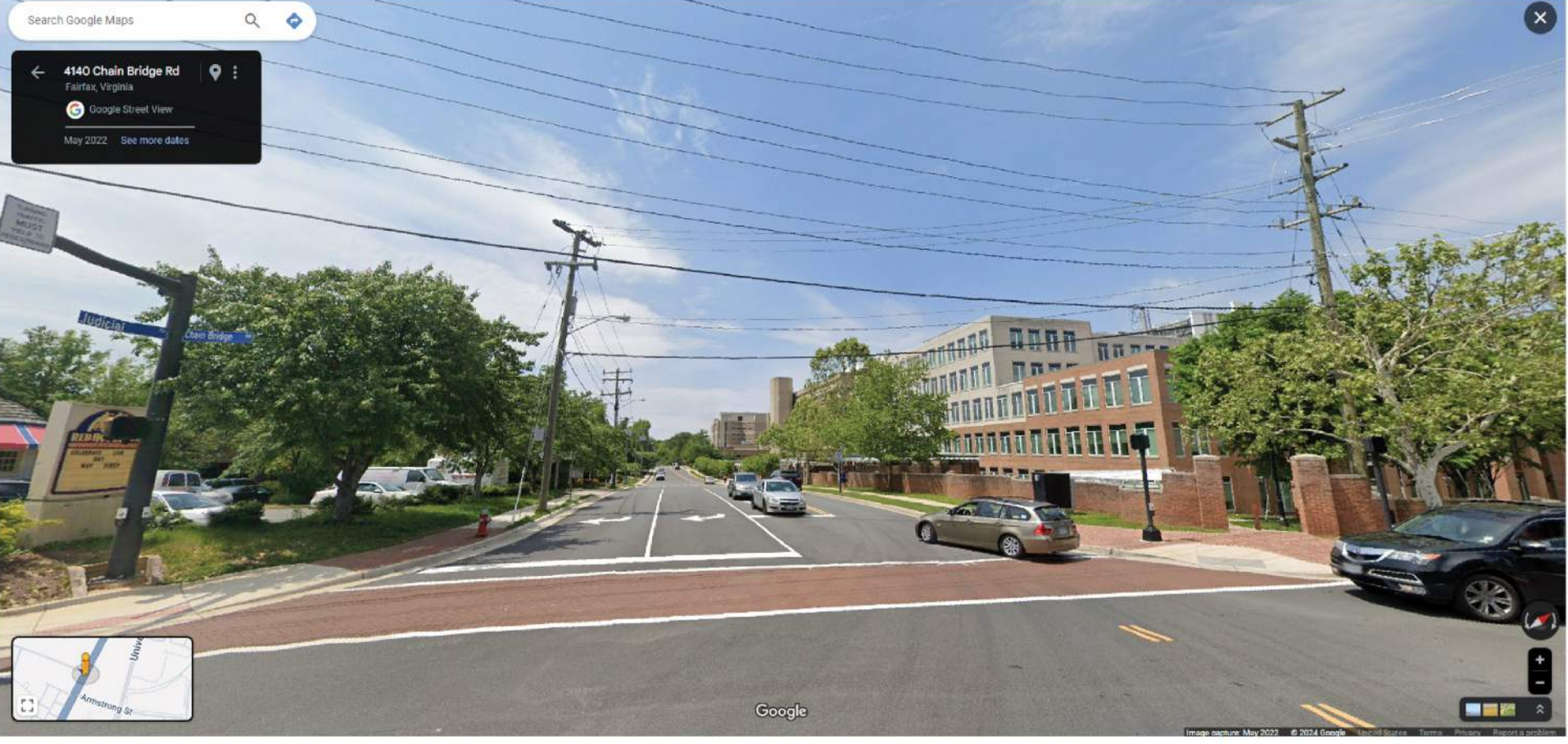




1) SITE- SW LOOKING NE



2) CHAINBRIDGE AND JUDICIAL DR- 1



3) JUDICIAL DR- LOOKING WEST



4) JUDICIAL DR- 1



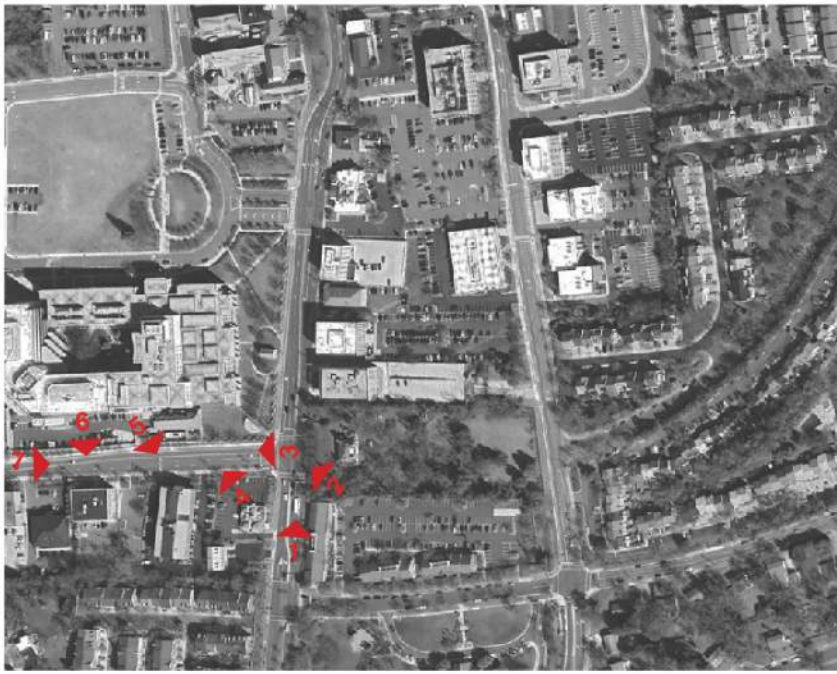
5) JUDICIAL DR- 2



6) JUDICIAL DR- 3



7) JUDICIAL DR- LOOKING EAST



KEY PLAN





1) UNIVERSITY DR- LOOKING SOUTH- 1



4) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 3



7) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 2



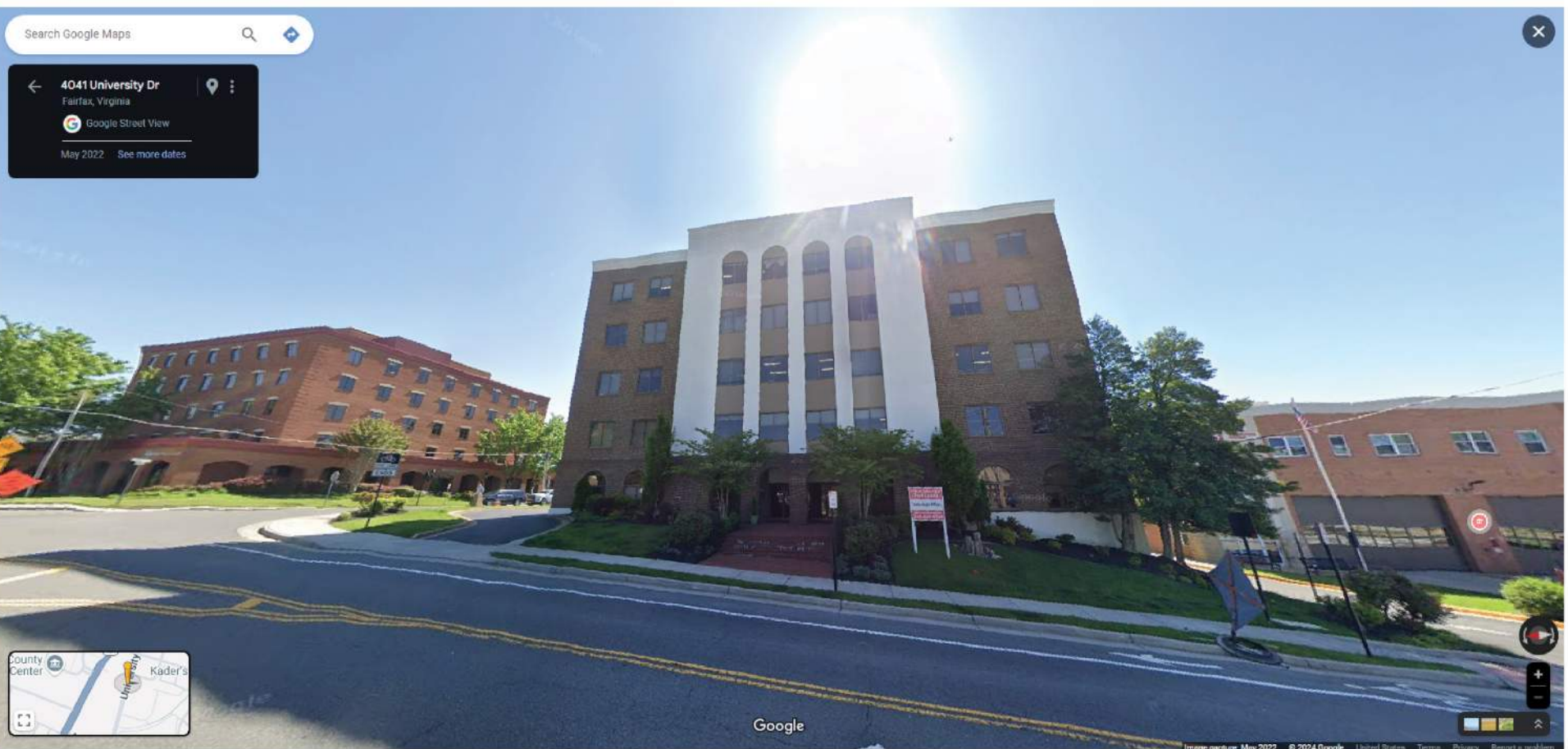
2) UNIVERSITY DR- LOOKING SOUTH- 2



5) UNIVERSITY DR- LOOKING SOUTH- 3



8) UNIVERSITY DR- NORTH PROPERTIES 1



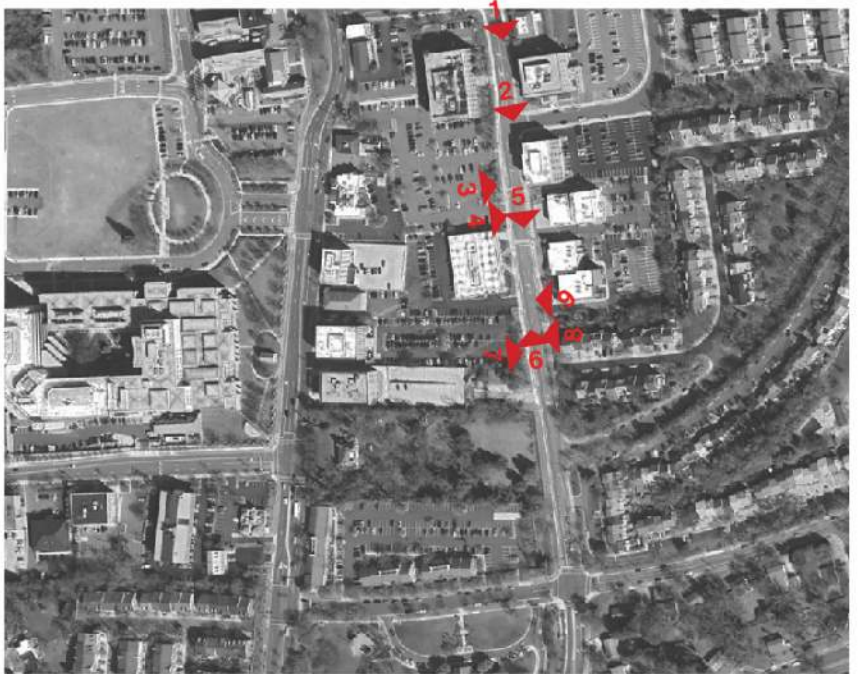
3) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 4



6) UNIVERSITY DR- LOOKING NORTH- 2



9) UNIVERSITY DR- NORTH PROPERTIES 2



KEY PLAN

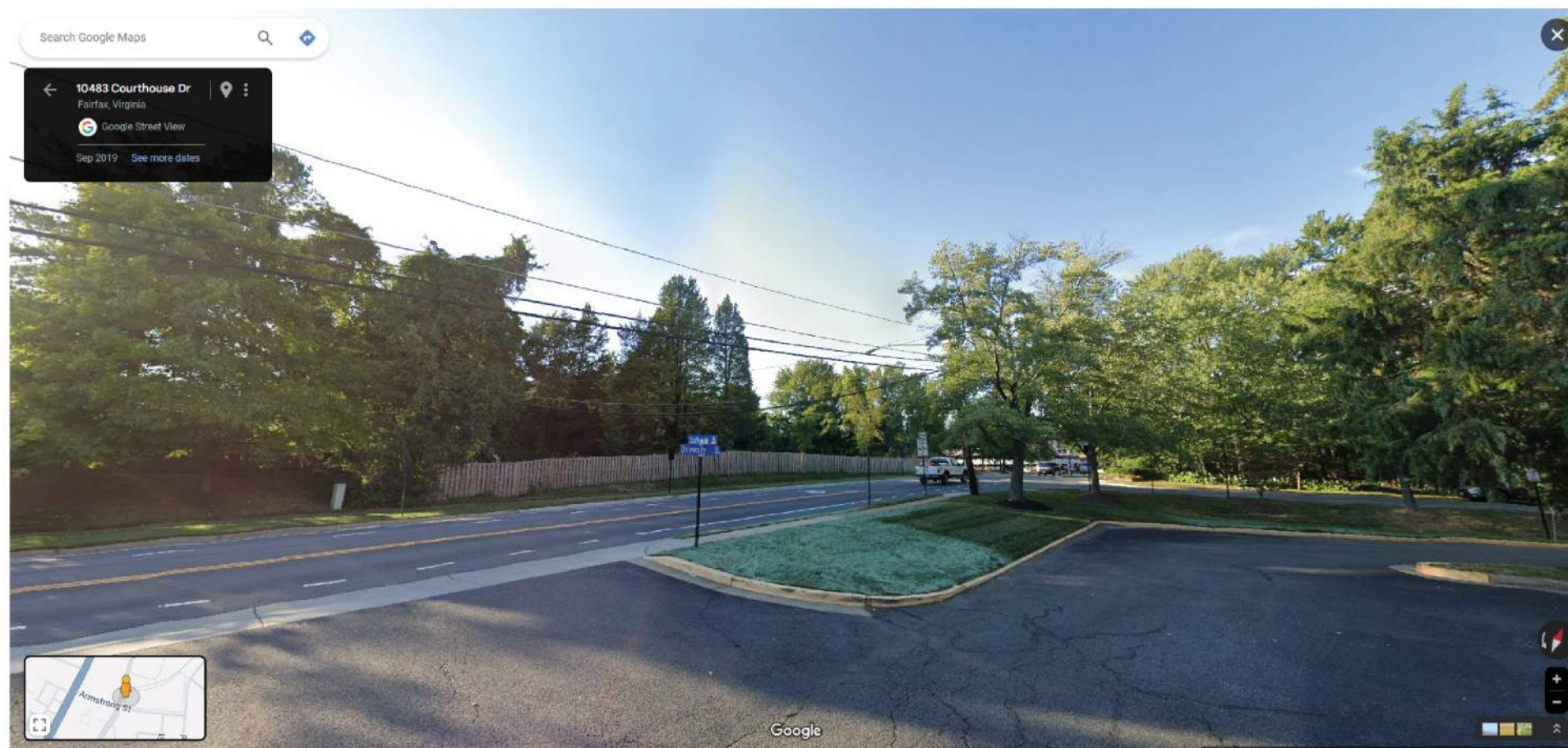




1) UNIVERSITY DR- SOUTH PROPERTIES- ACROSS ST- 2



4) UNIVERSITY DR- SOUTH PROPERTIES 1



7) SITE- SE LOOKING NW



2) UNIVERSITY DR- LOOKING NORTH- 1



5) UNIVERSITY DR- NORTH PROPERTIES- ACROSS ST- 1



8) BRECKENRIDGE LN LOOKING EAST



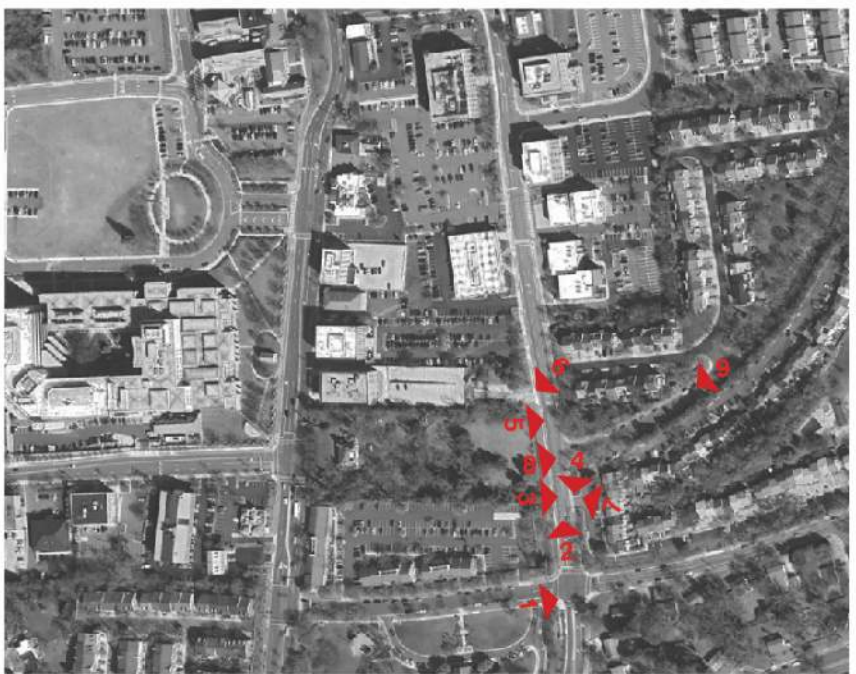
3) UNIVERSITY DR- SOUTH PROPERTIES- ACROSS ST- 1



6) SITE- NE LOOKING SW

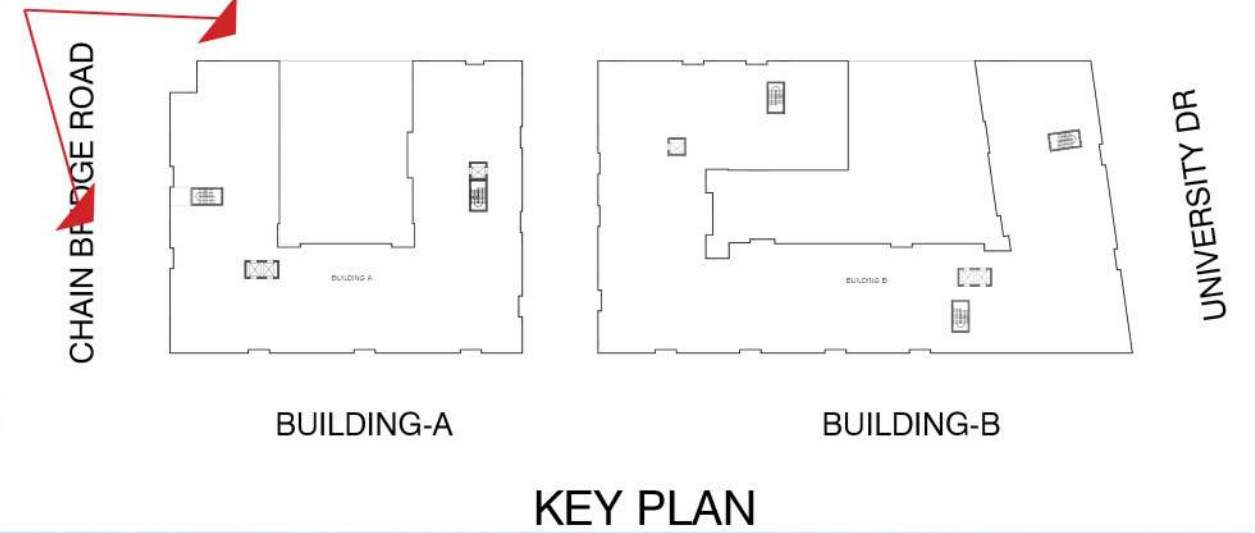


9) BRECKENRIDGE LN LOOKING WEST



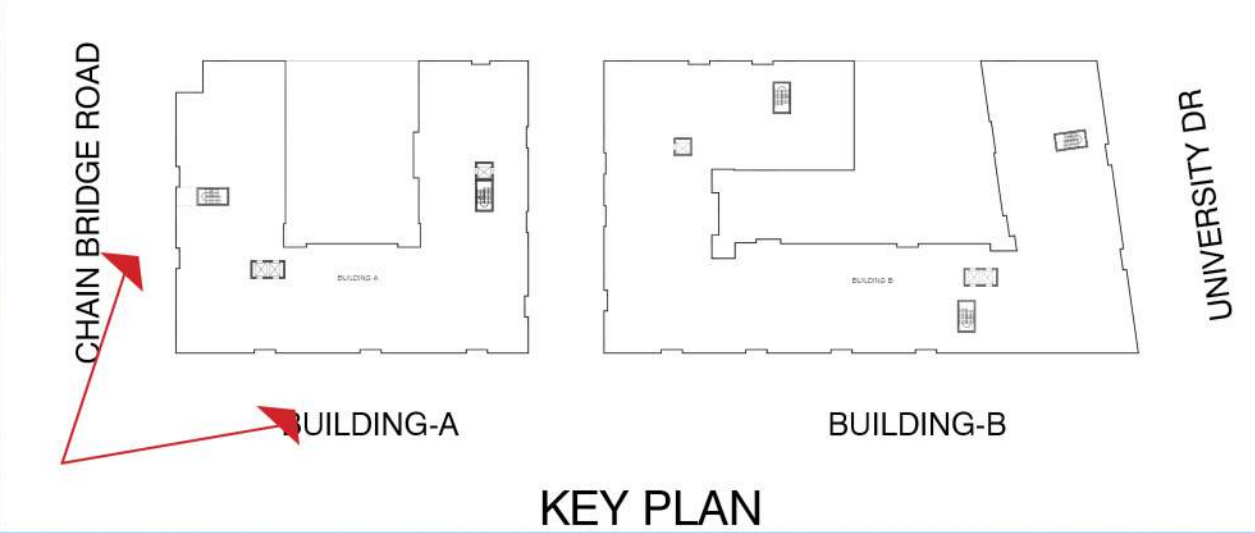
KEY PLAN





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LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.





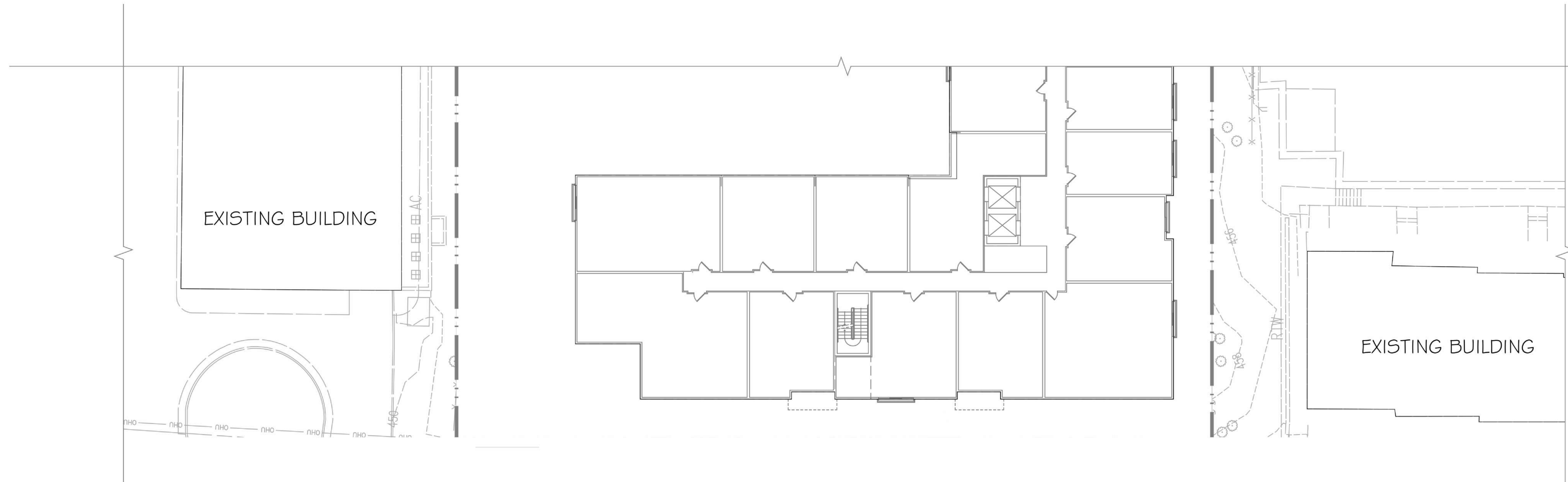
\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.





\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.





EXISTING BUILDING  
CHAINBRIDGE RD

PROPOSED BUILDING A

EXISTING BUILDING  
CHAINBRIDGE RD



1A) CHAINBRIDGE- NORTH PROPERTIES

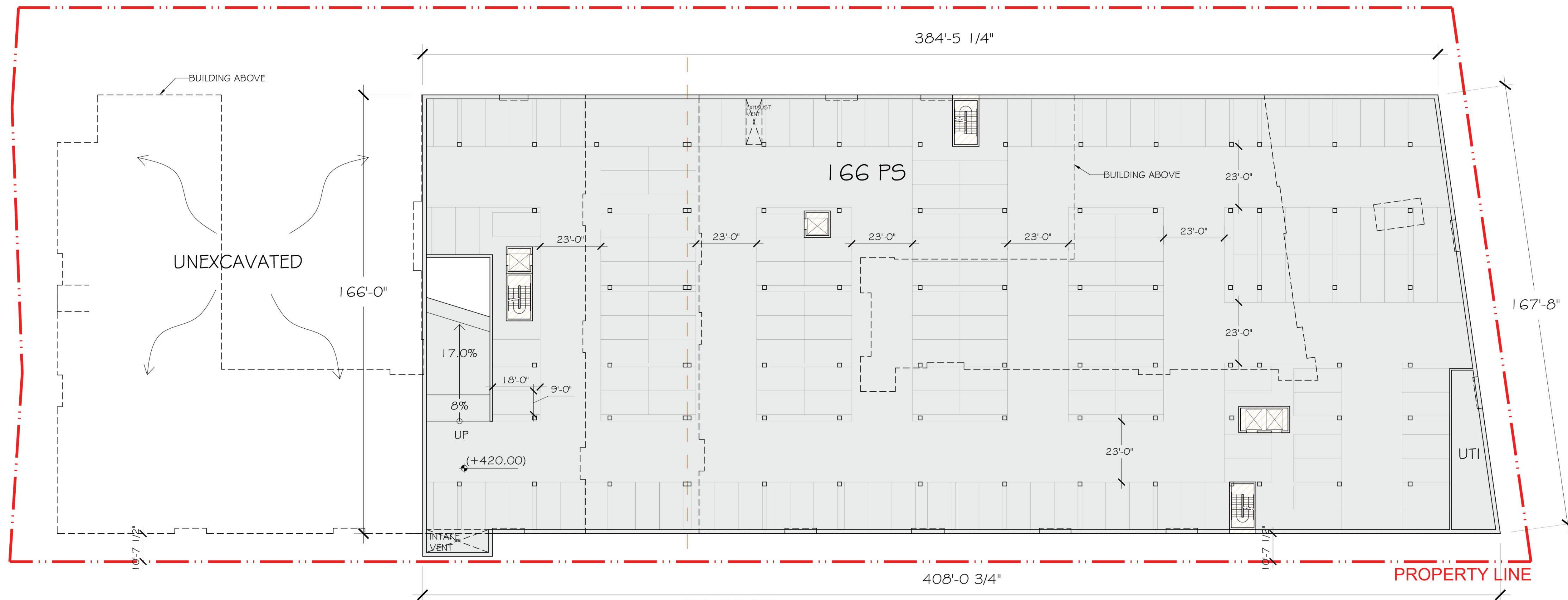
1B) CHAINBRIDGE- PROPOSED BUILDING

1C) CHAINBRIDGE-SOUTH PROPERTIES



KEY PLAN





RESIDENTIAL AREA (BUILDING A) = 280 GSF



RESIDENTIAL AREA (BUILDING B) = 684 GSF



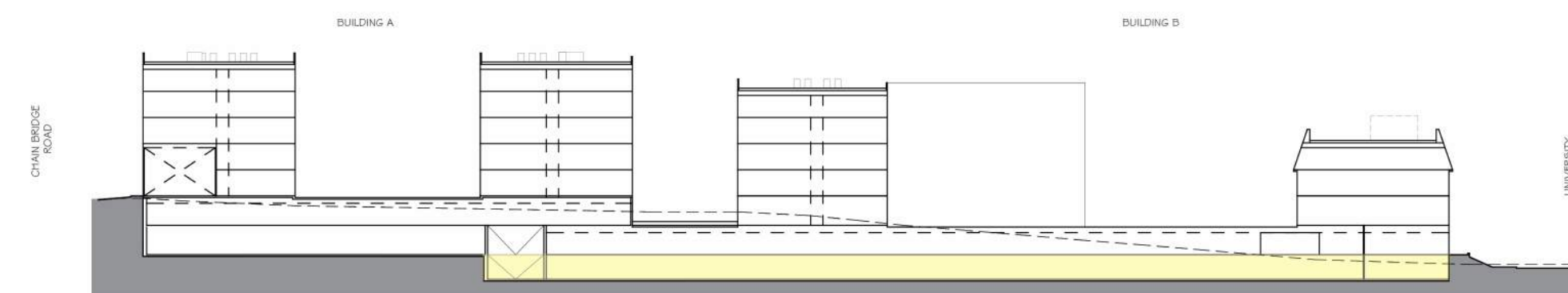
GARAGE/PARKING AREA = 64,589 GSF

\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
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REFER TO CIVIL FOR TRUCK MANEUVERING.



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## B3 - GARAGE PLAN



SECTION

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

DEC. 04, 2024  
PDM.015

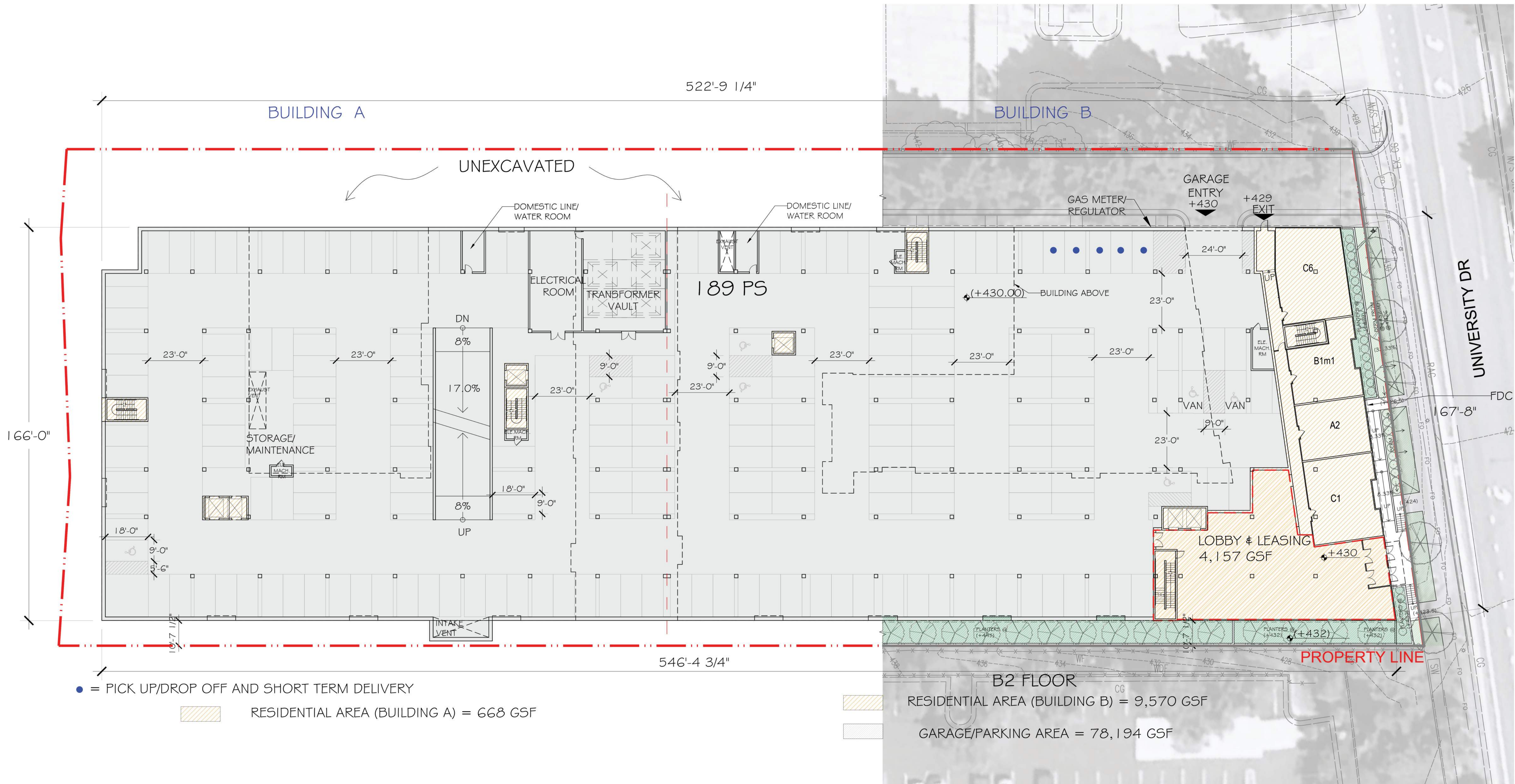
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SCALE: 1" = 20' (@ 22"x34")

# A.12



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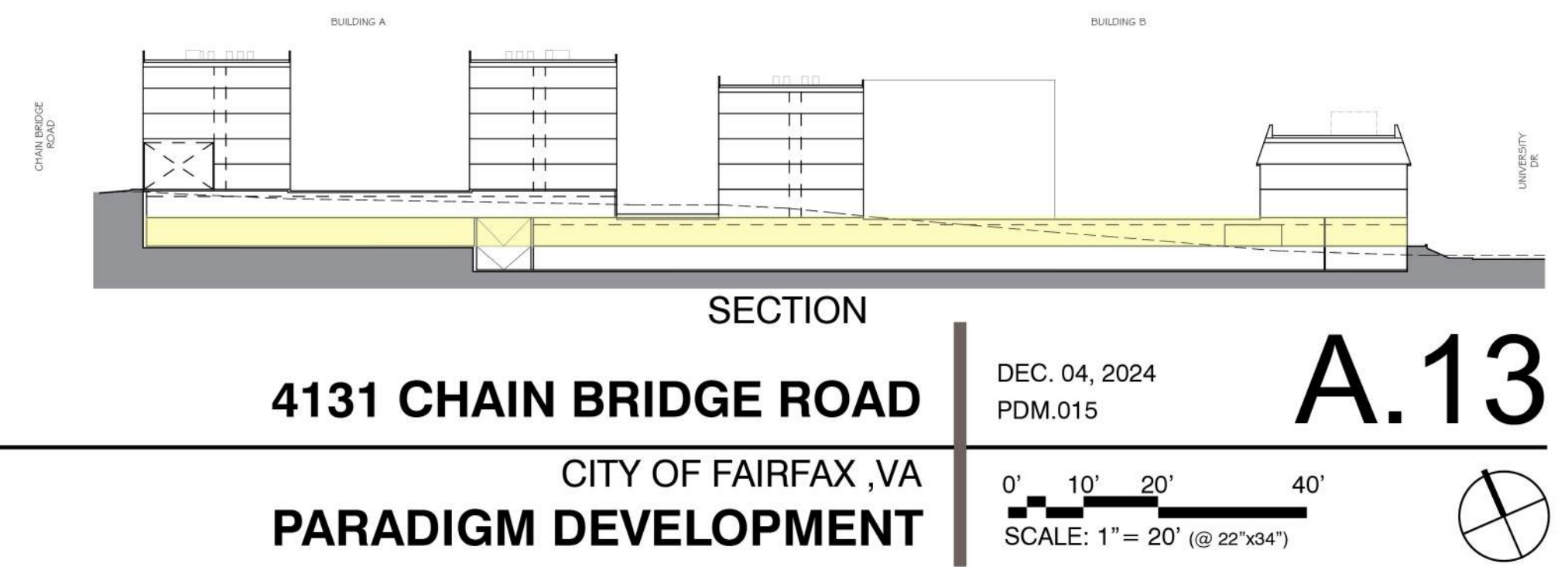




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## B2 - GARAGE PLAN

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4131 CHAIN BRIDGE ROAD

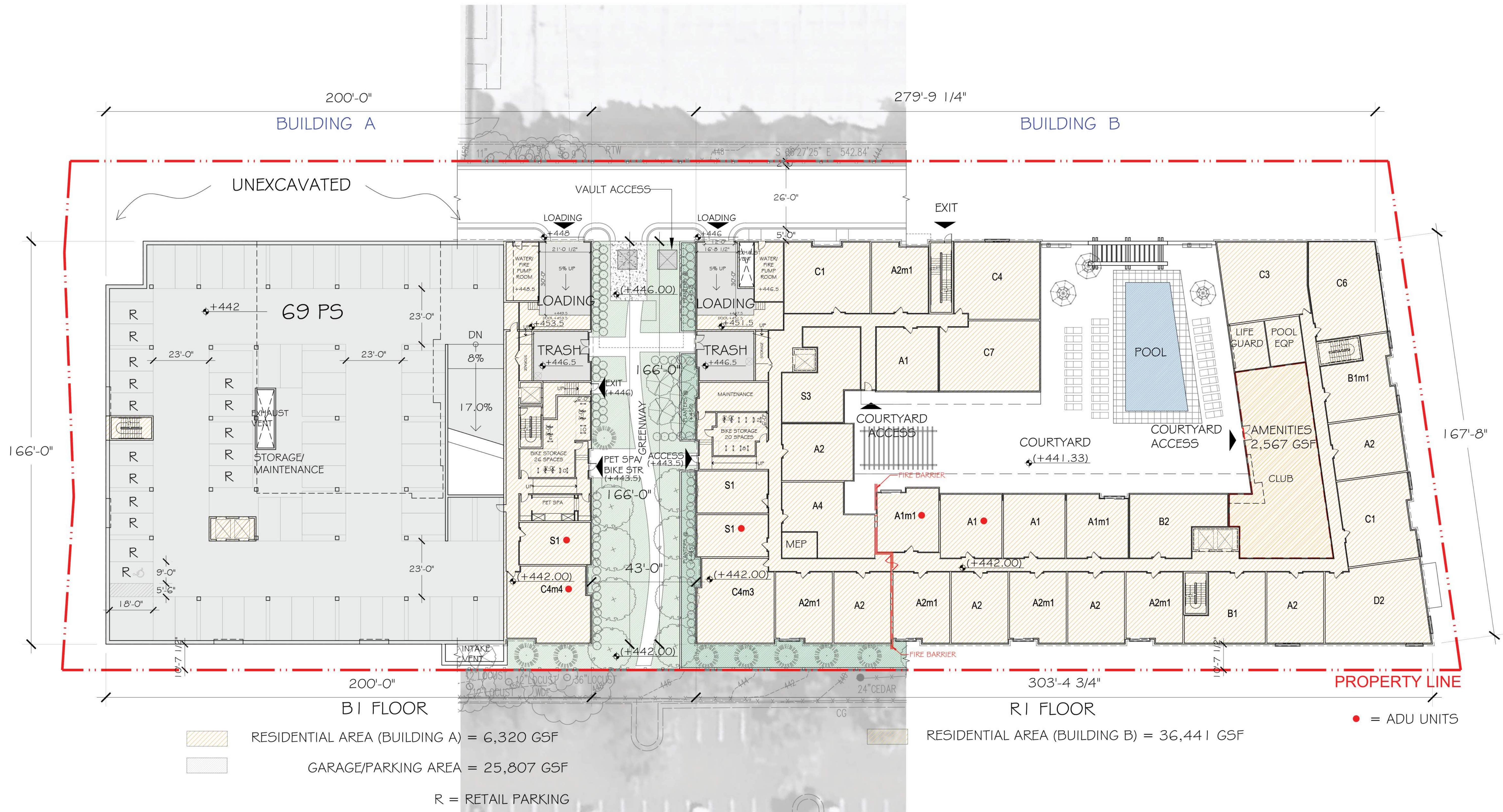
CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

DEC. 04, 2024  
PDM.015

SCALE: 1" = 20' (@ 22"x34")

# A.13



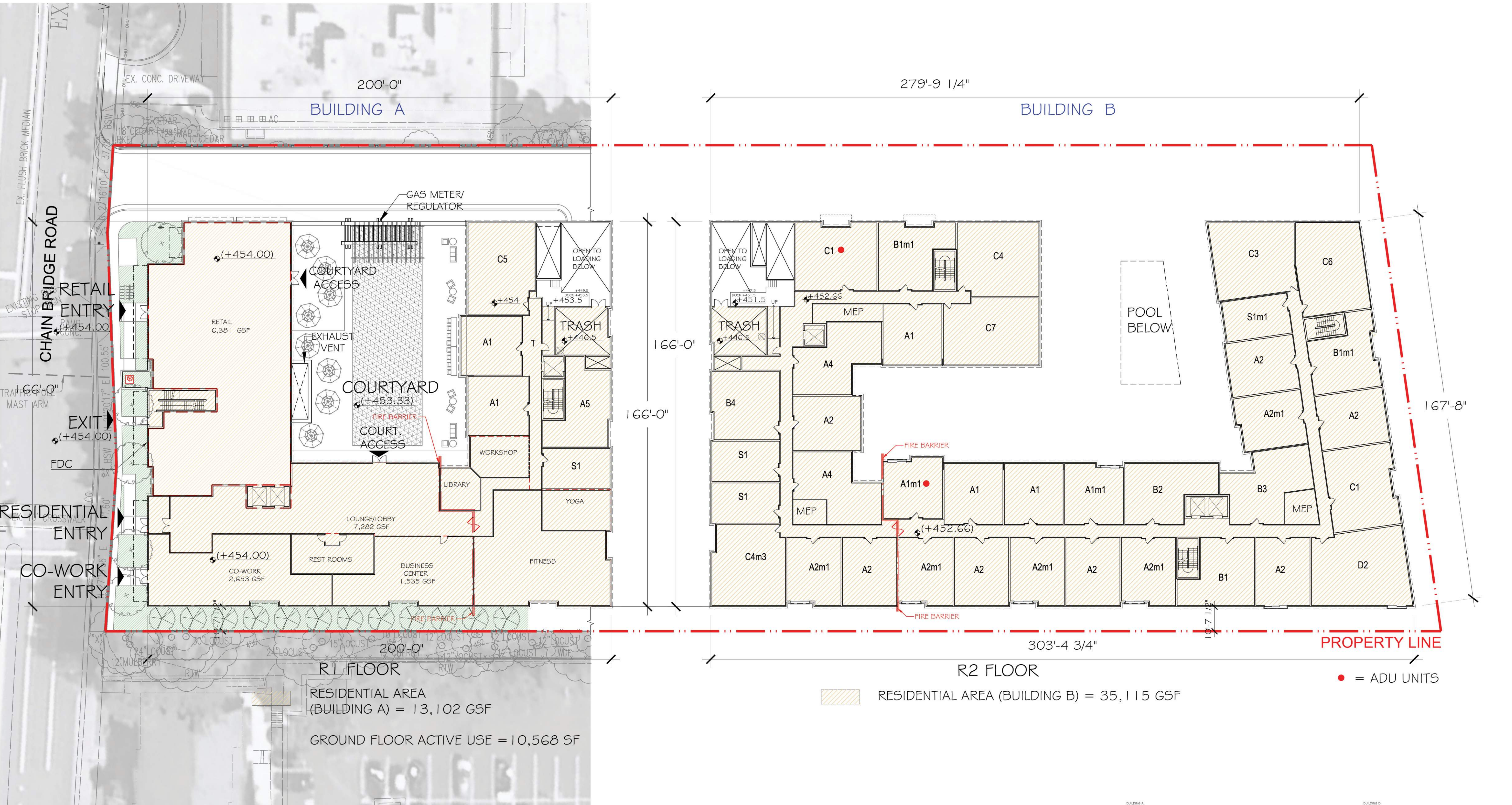


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REFER TO CIVIL FOR TRUCK MANEUVERING.

## B1 - R1 FLOOR PLAN

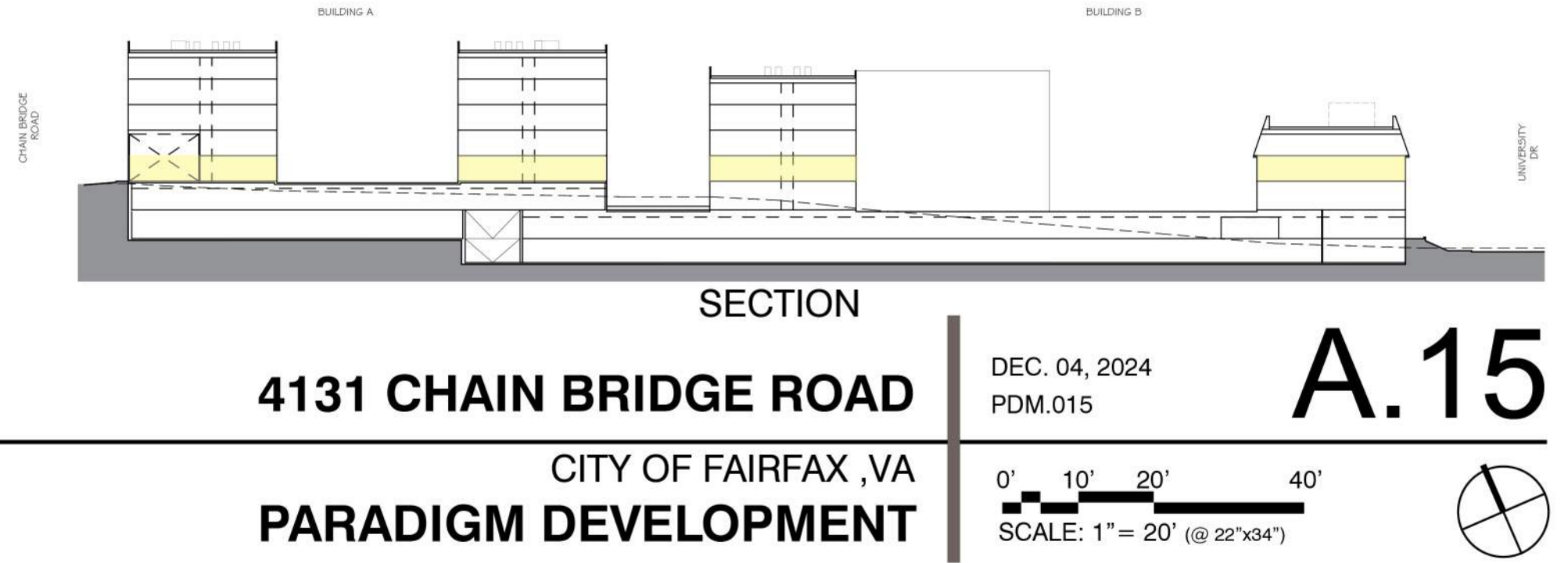
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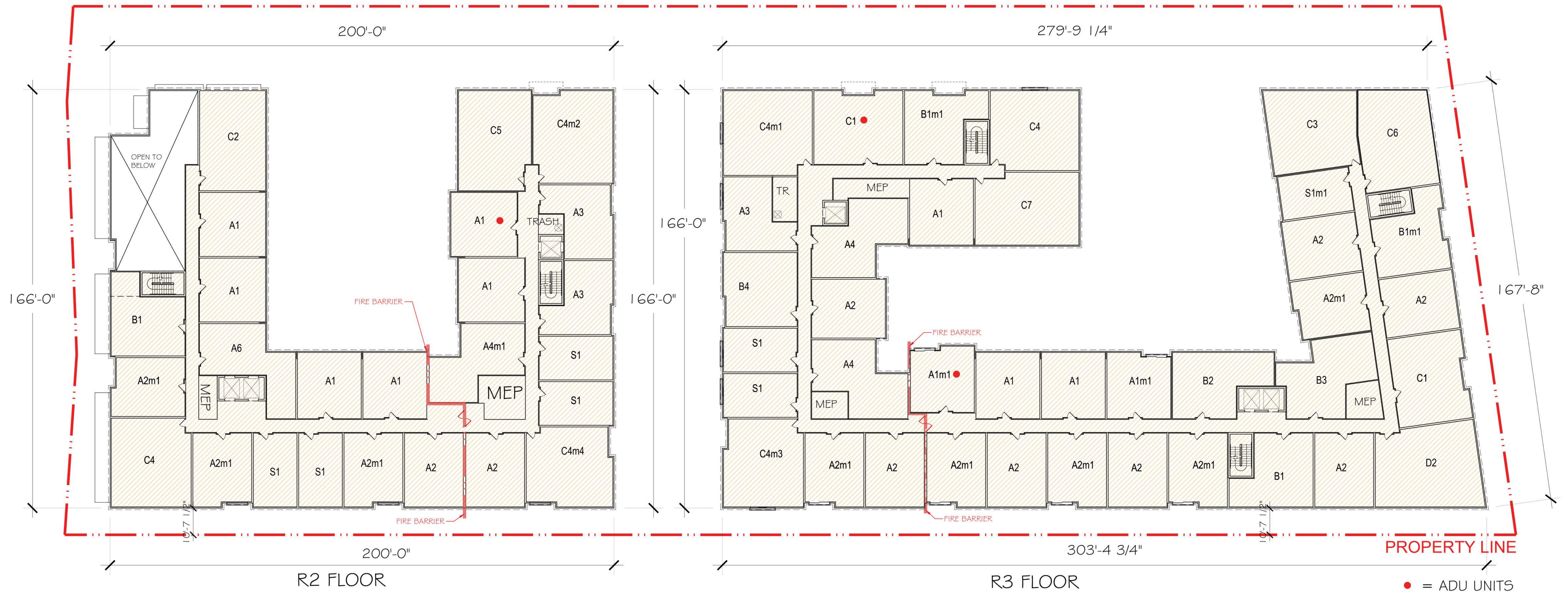
## R1-R2 FLOOR PLAN





BUILDING A

BUILDING B



RESIDENTIAL AREA (BUILDING A) = 22,917 GSF

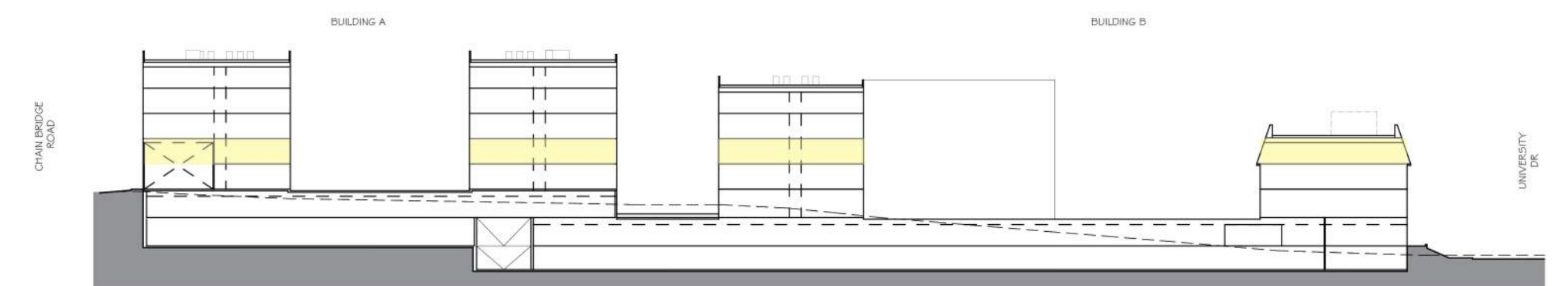
RESIDENTIAL AREA (BUILDING B) = 36,426 GSF

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## R2 - R3 FLOOR PLAN



SECTION

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CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

DEC. 04, 2024  
PDM.015

0' 10' 20' 40'  
SCALE: 1" = 20' (@ 22"x34")

A.16



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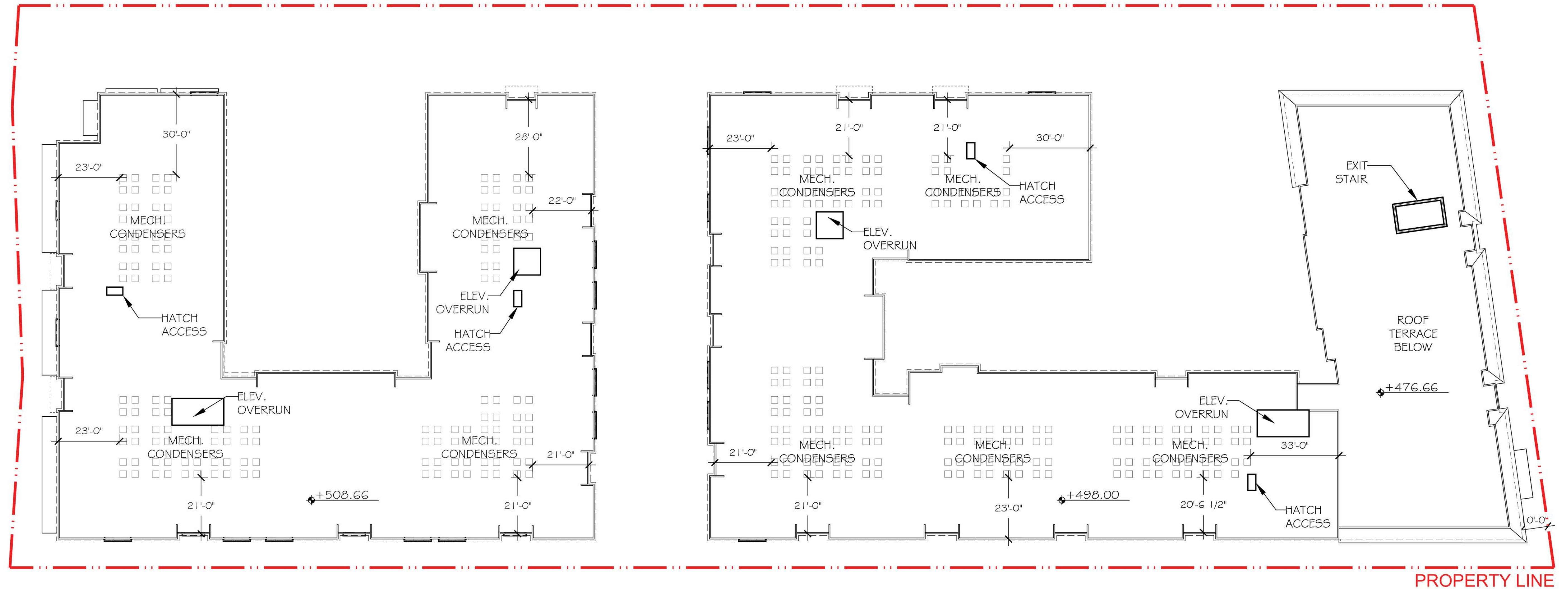


BUILDING A

BUILDING B

CHAIN BRIDGE ROAD

UNIVERSITY DR



ROOF PLAN

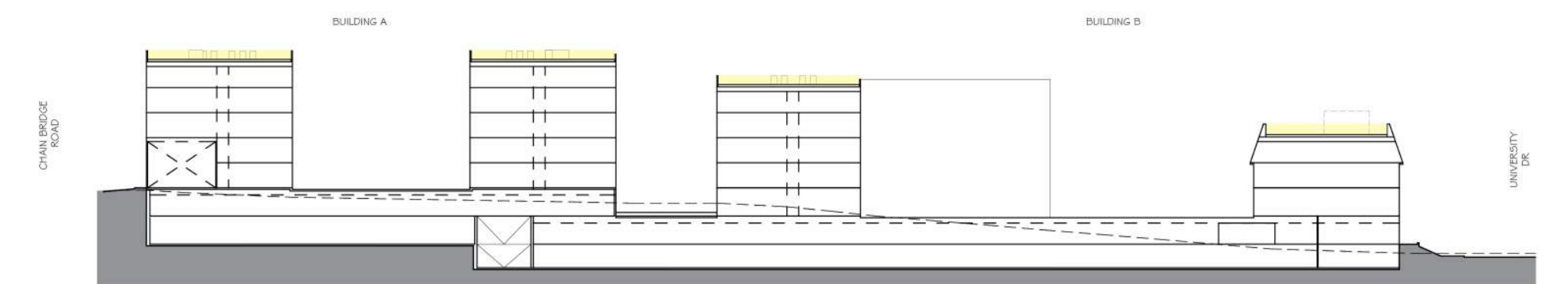
NEAREST POINT: 21'-0"  
(PARAPET TO EQUIPMENT, HATCH, OR ELEVATOR OVERRUN)

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ROOF PLAN



SECTION

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT

DEC. 04, 2024  
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0' 10' 20' 40'  
SCALE: 1" = 20' (@ 22"x34")

A.18



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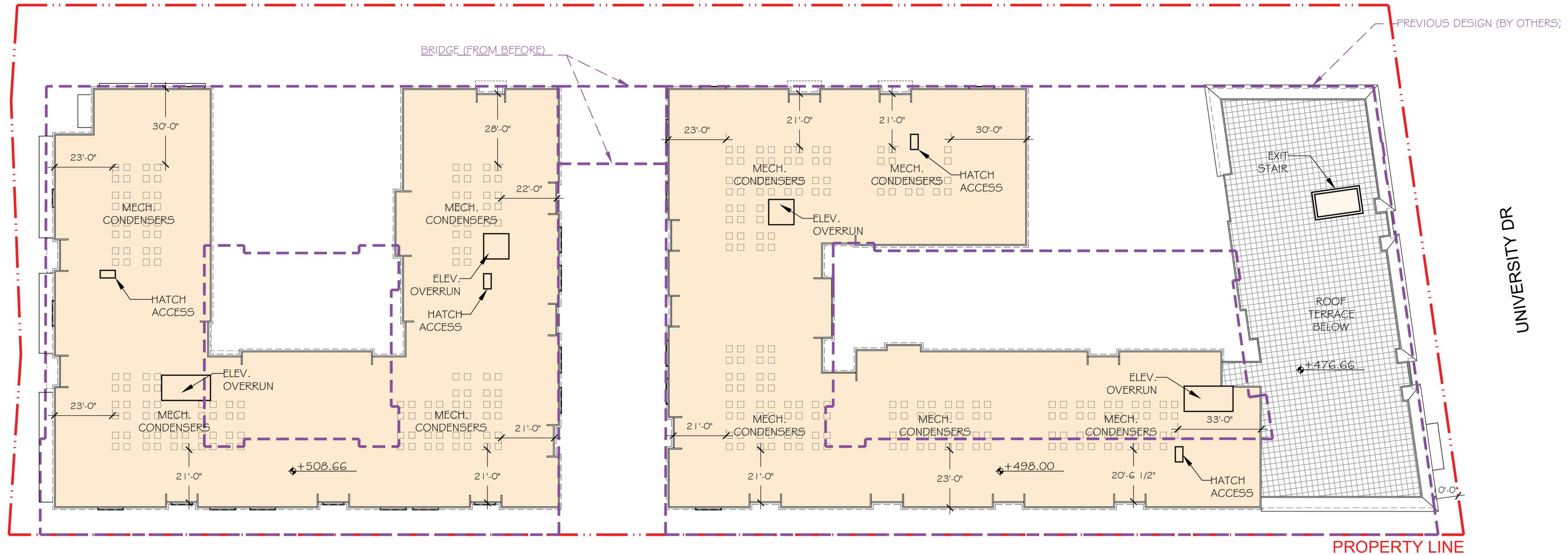


BUILDING A

BUILDING B

CHAIN BRIDGE ROAD

UNIVERSITY DR



ROOF PLAN

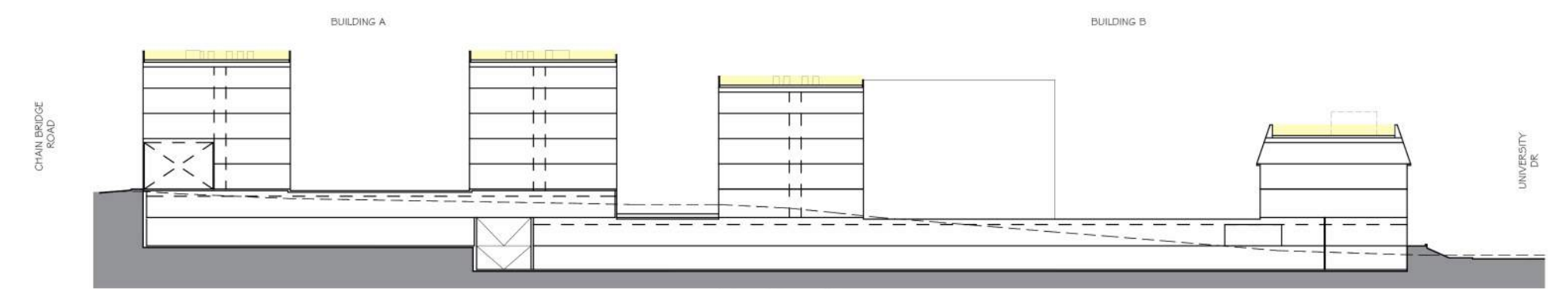
NEAREST POINT: 21'-0"  
(PARAPET TO EQUIPMENT, HATCH, OR ELEVATOR OVERRUN)

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## BUILDING BEFORE VS AFTER



SECTION

4131 CHAIN BRIDGE ROAD

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PARADIGM DEVELOPMENT

DEC. 04, 2024  
PDM.015

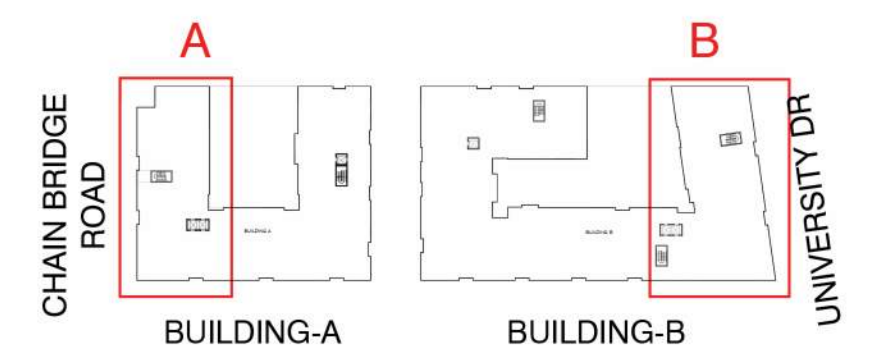
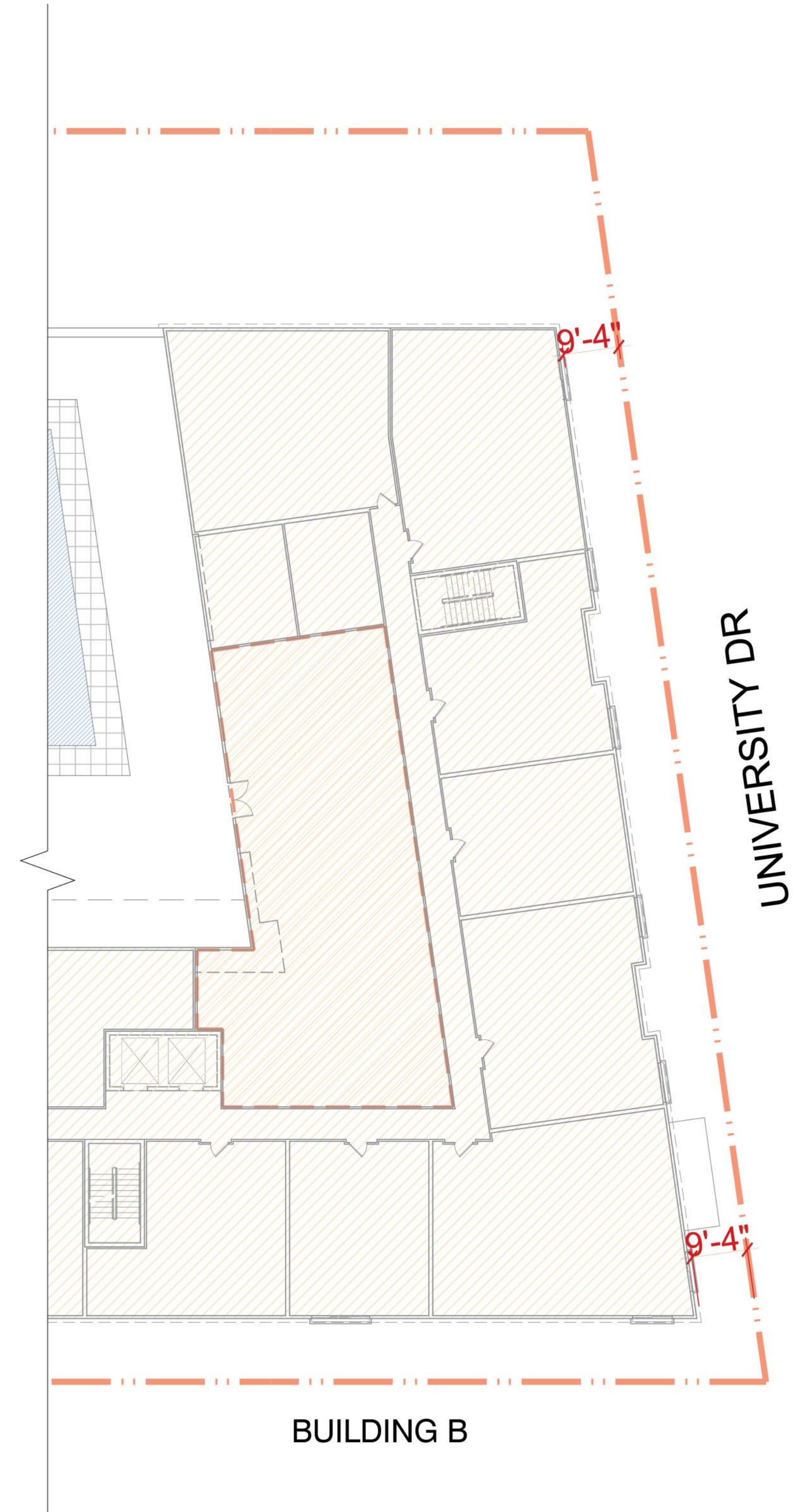
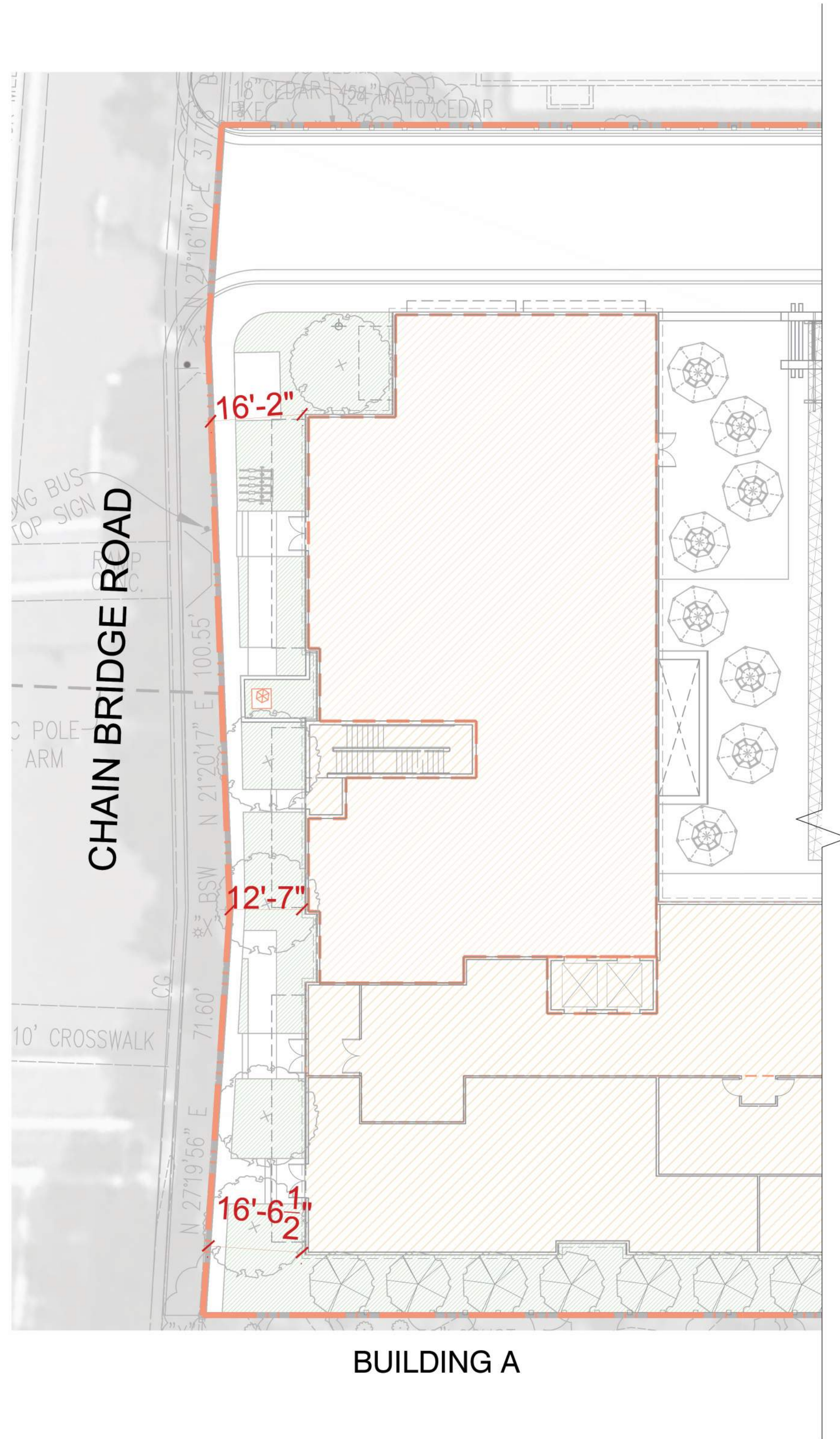
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SCALE: 1" = 20' (@ 22"x34")

A.19



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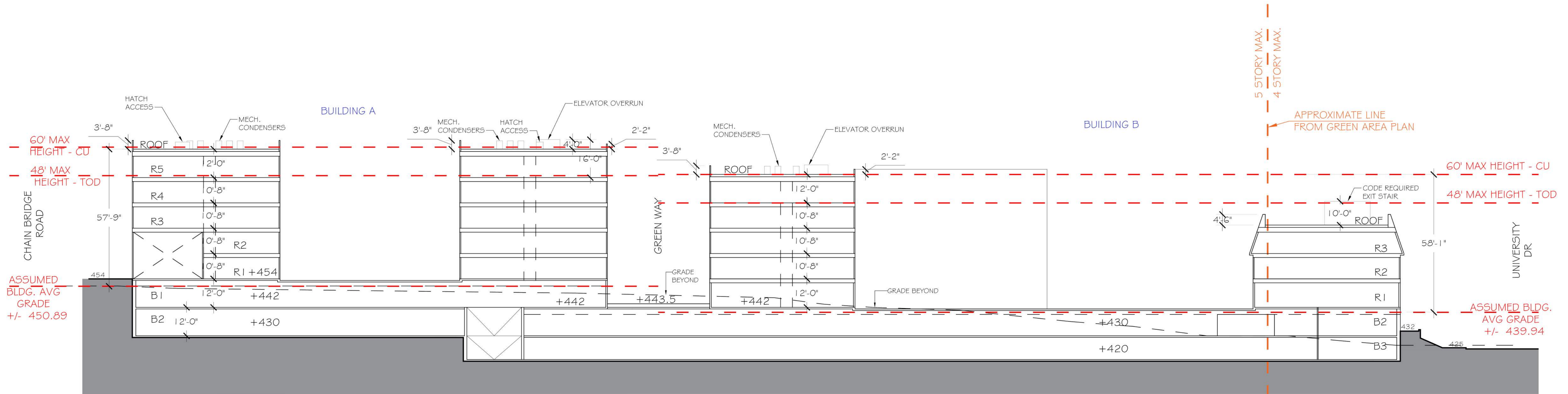


KEY PLAN

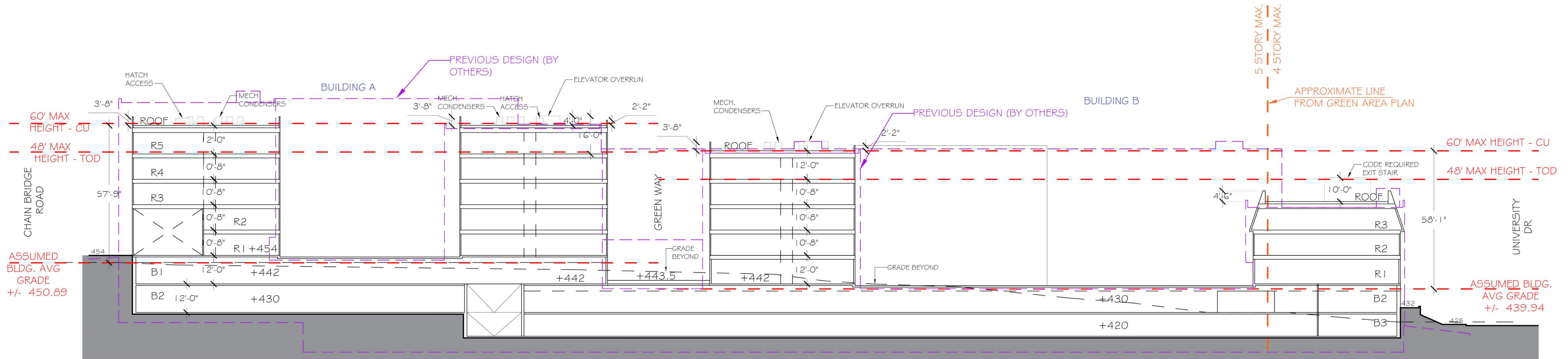




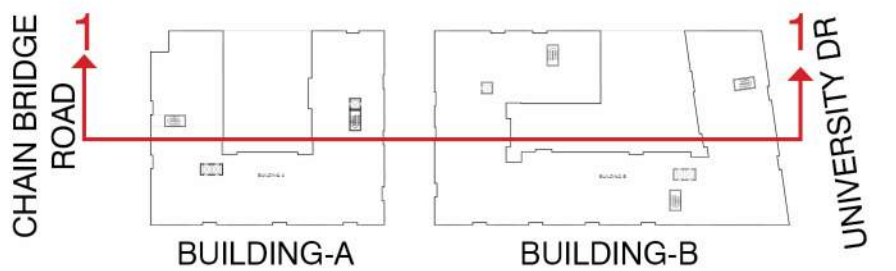




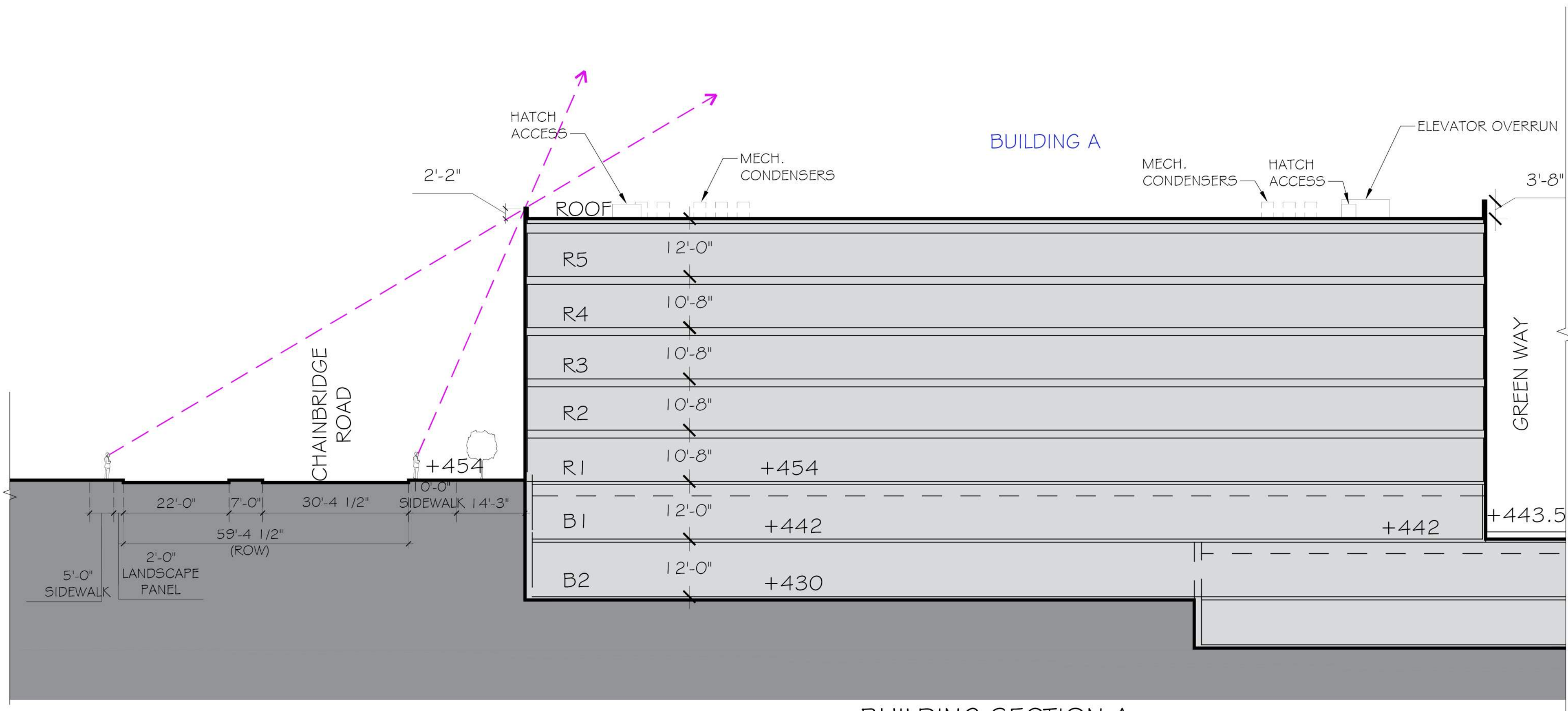
BUILDING SECTION -1



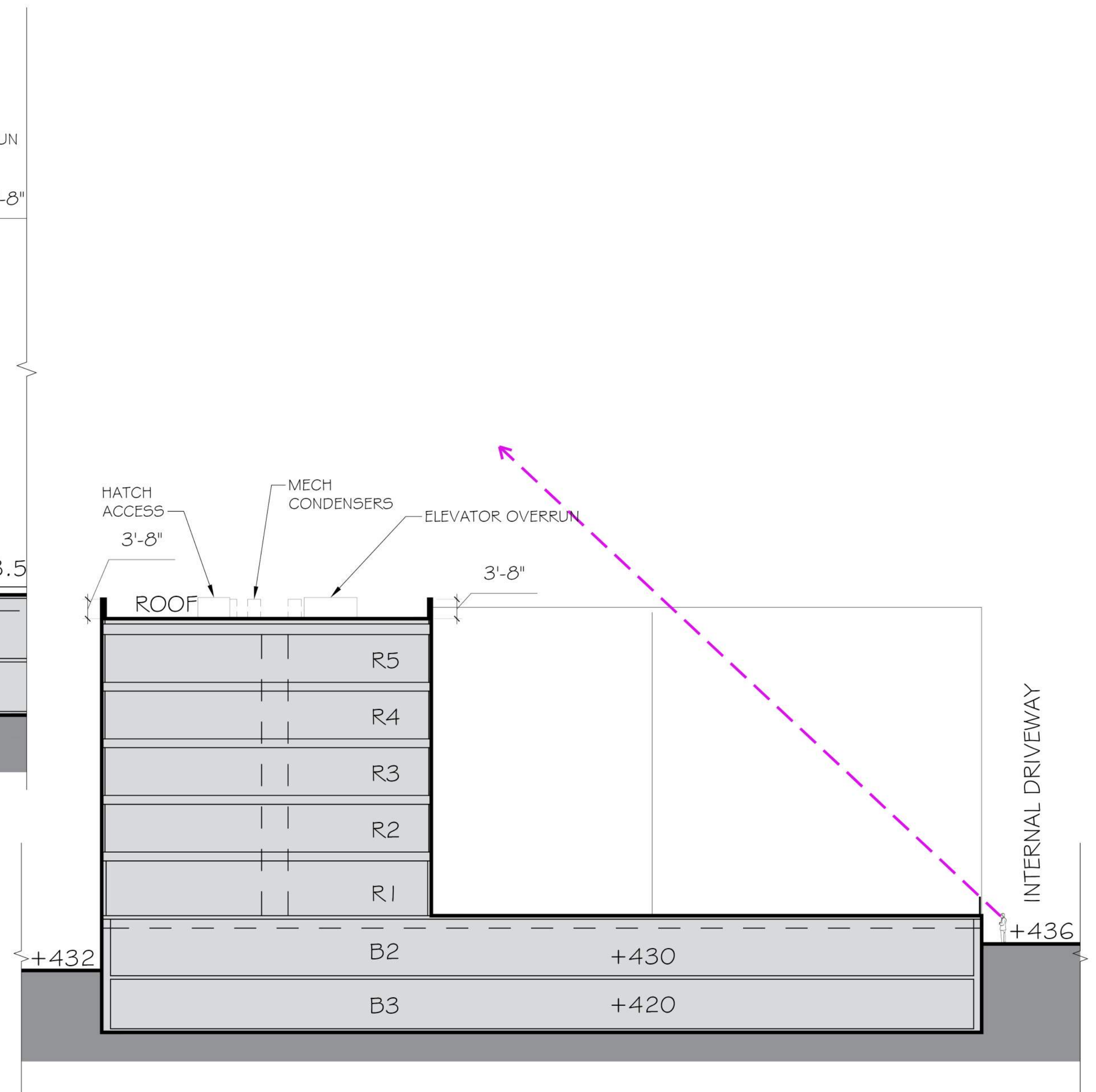
BUILDING SECTION -1 - CURRENT VS PREVIOUS DESIGN (BY OTHERS)



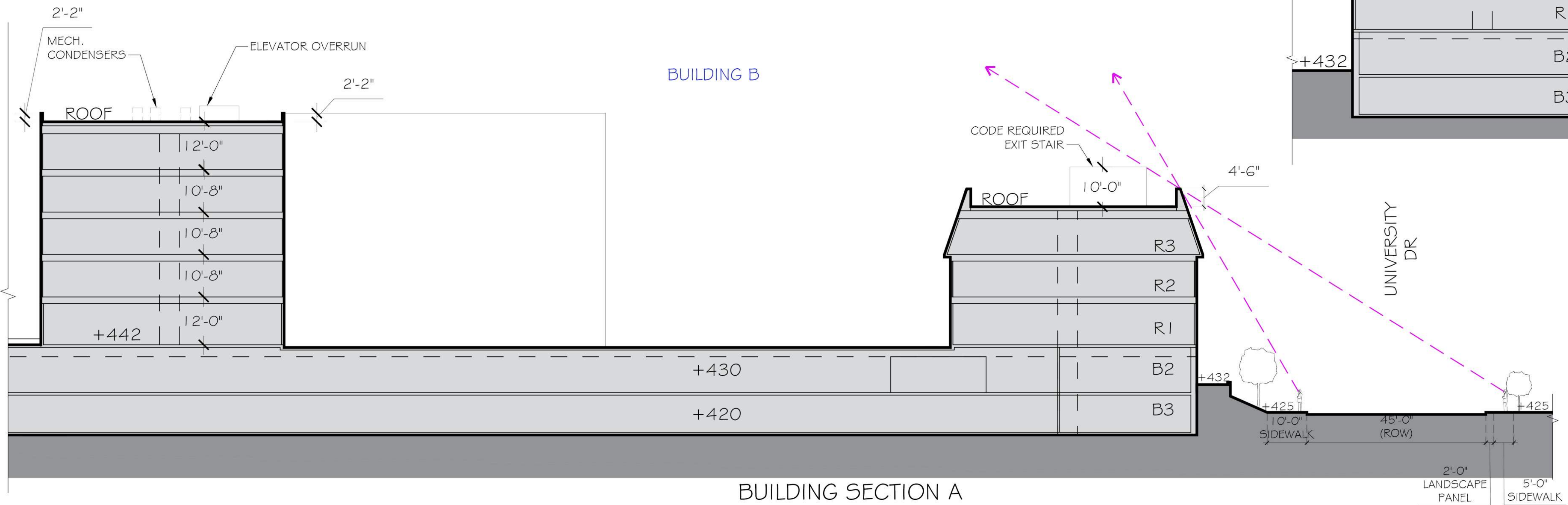




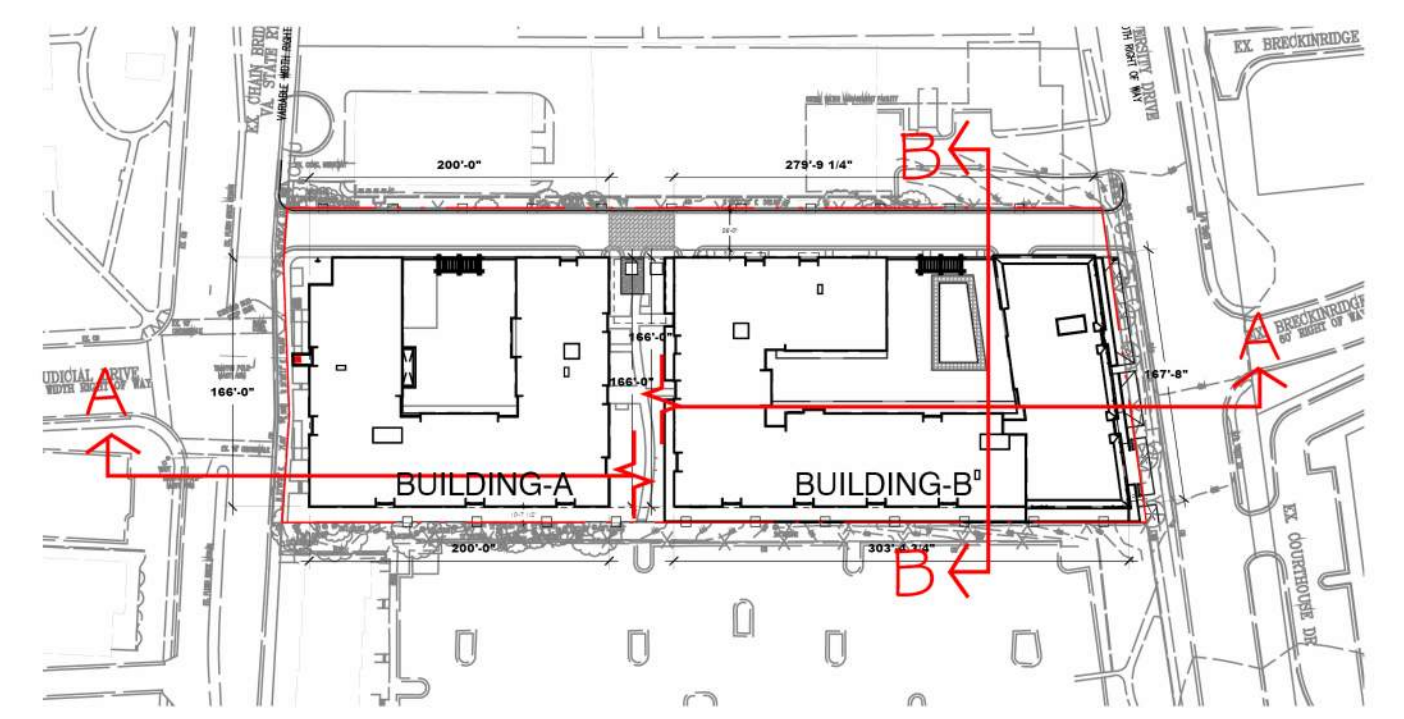
BUILDING SECTION A



BUILDING SECTION B

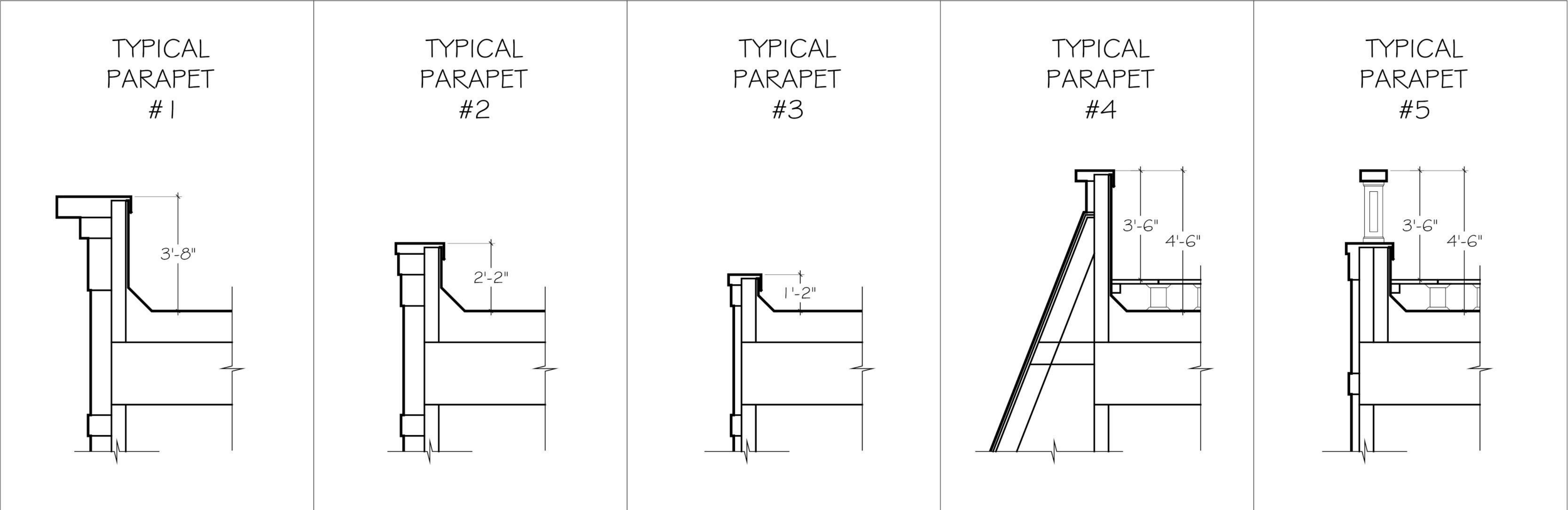


BUILDING SECTION A



\*SEE PAGE A.23 FOR DETAILED DIMENSIONS OF MECH. CONDENSER, ELEVATOR OVERRUN, HATCH ACCESS, AND STAIR.

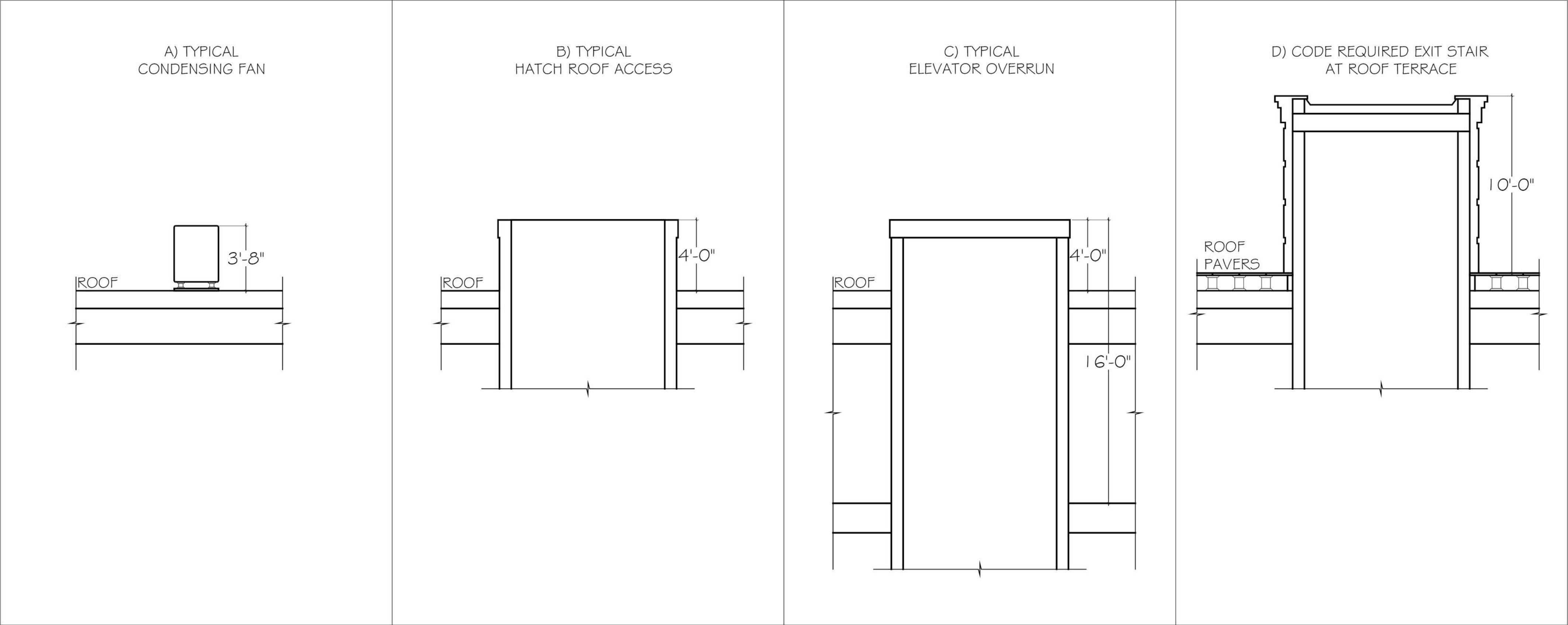




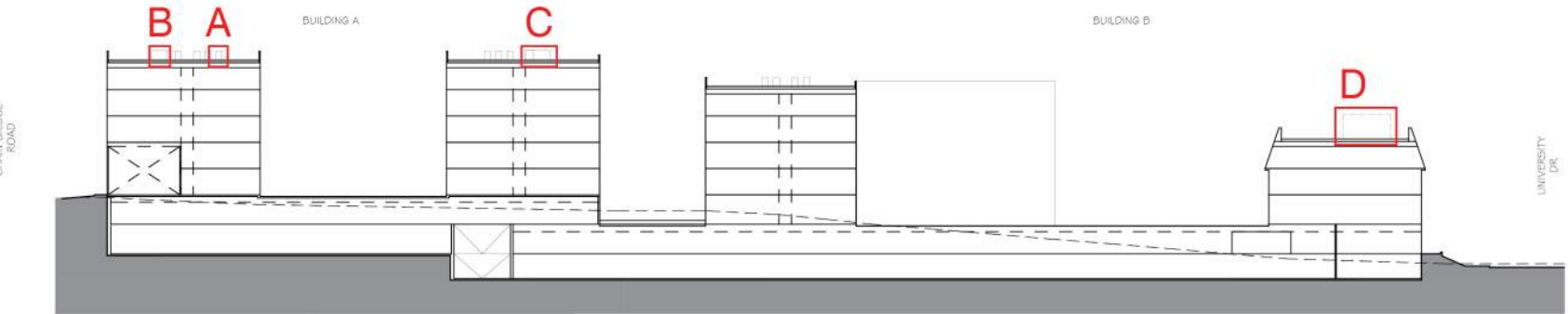
PARAPET DIAGRAM



KEY PLAN- PARAPETS



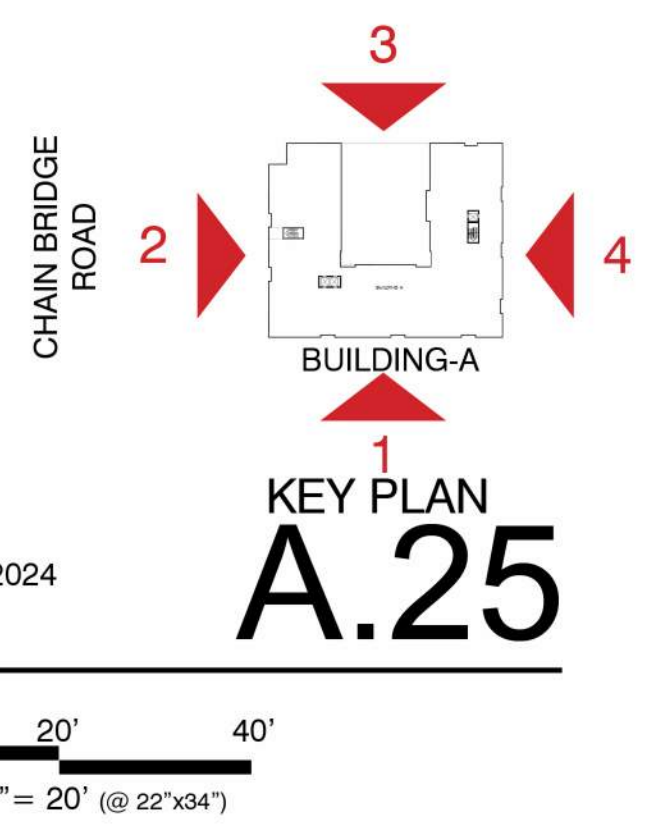
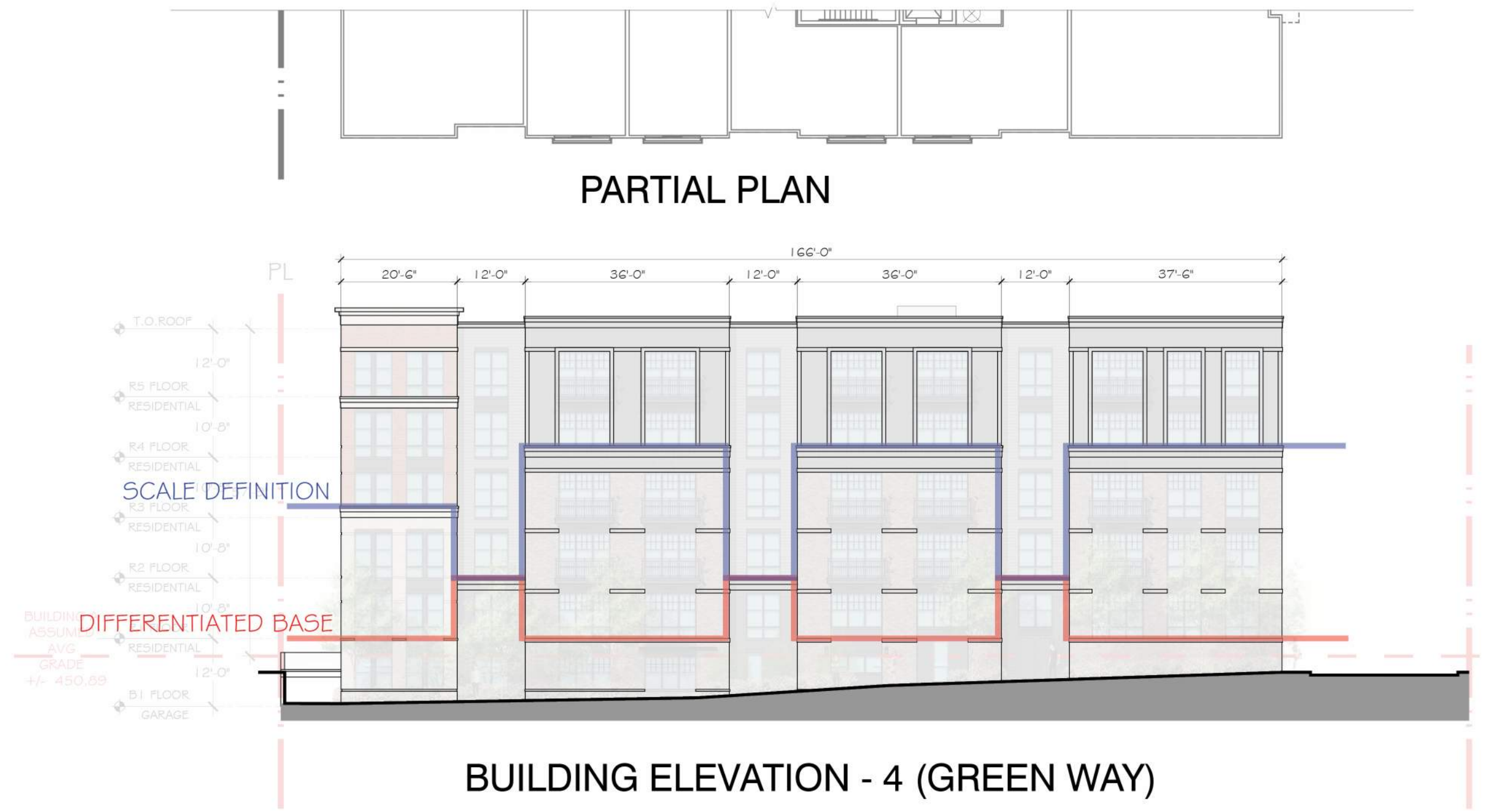
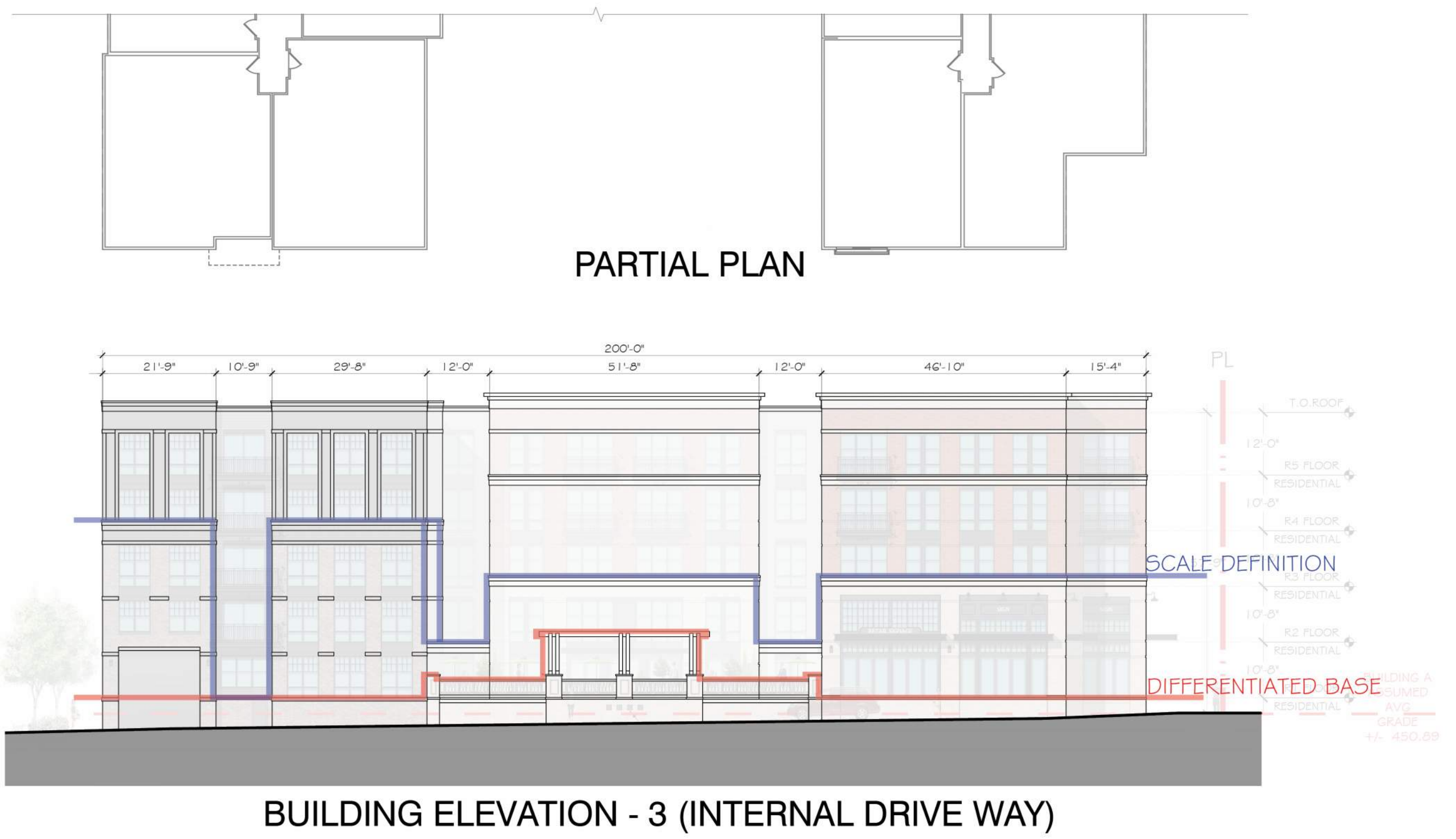
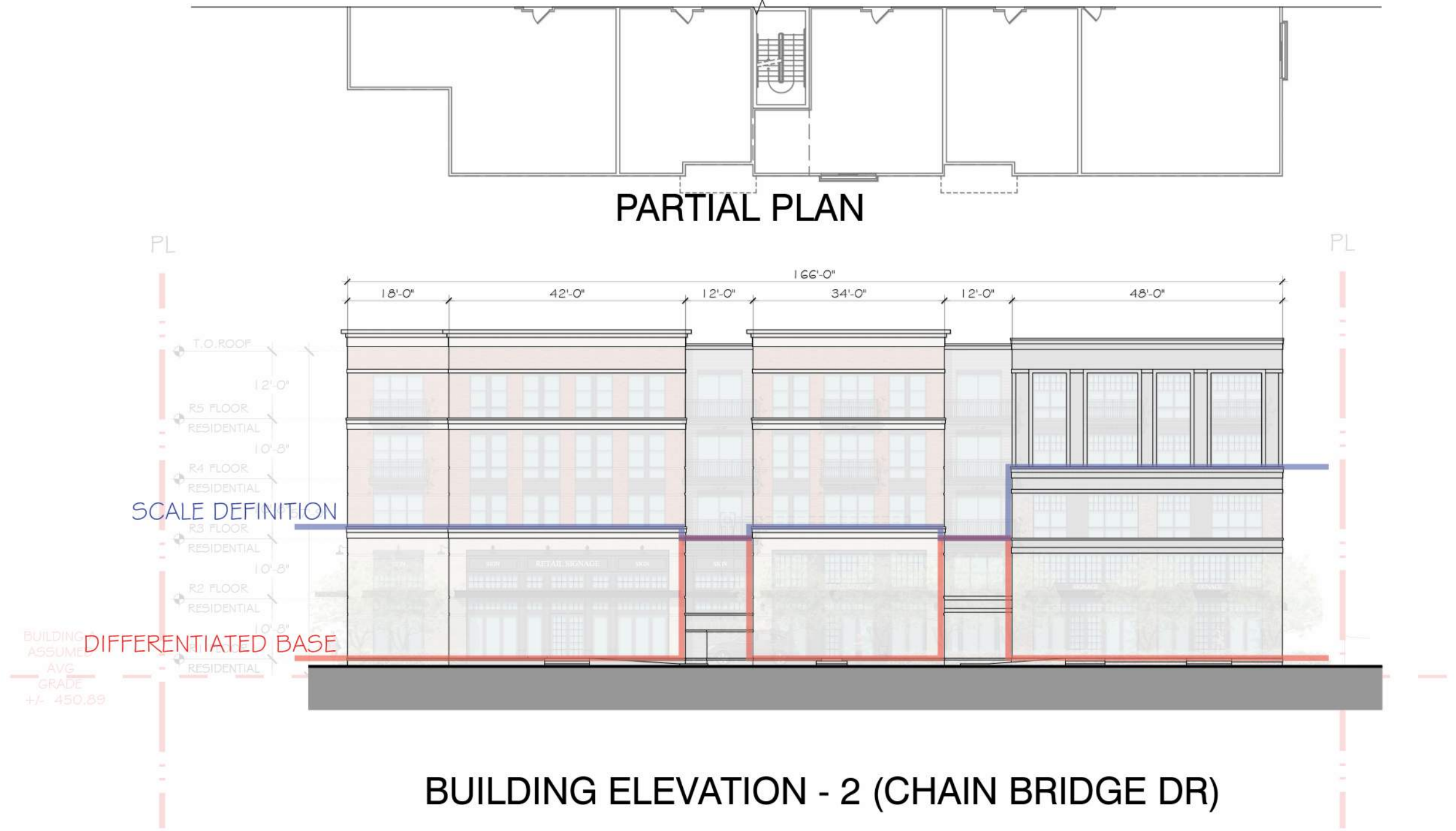
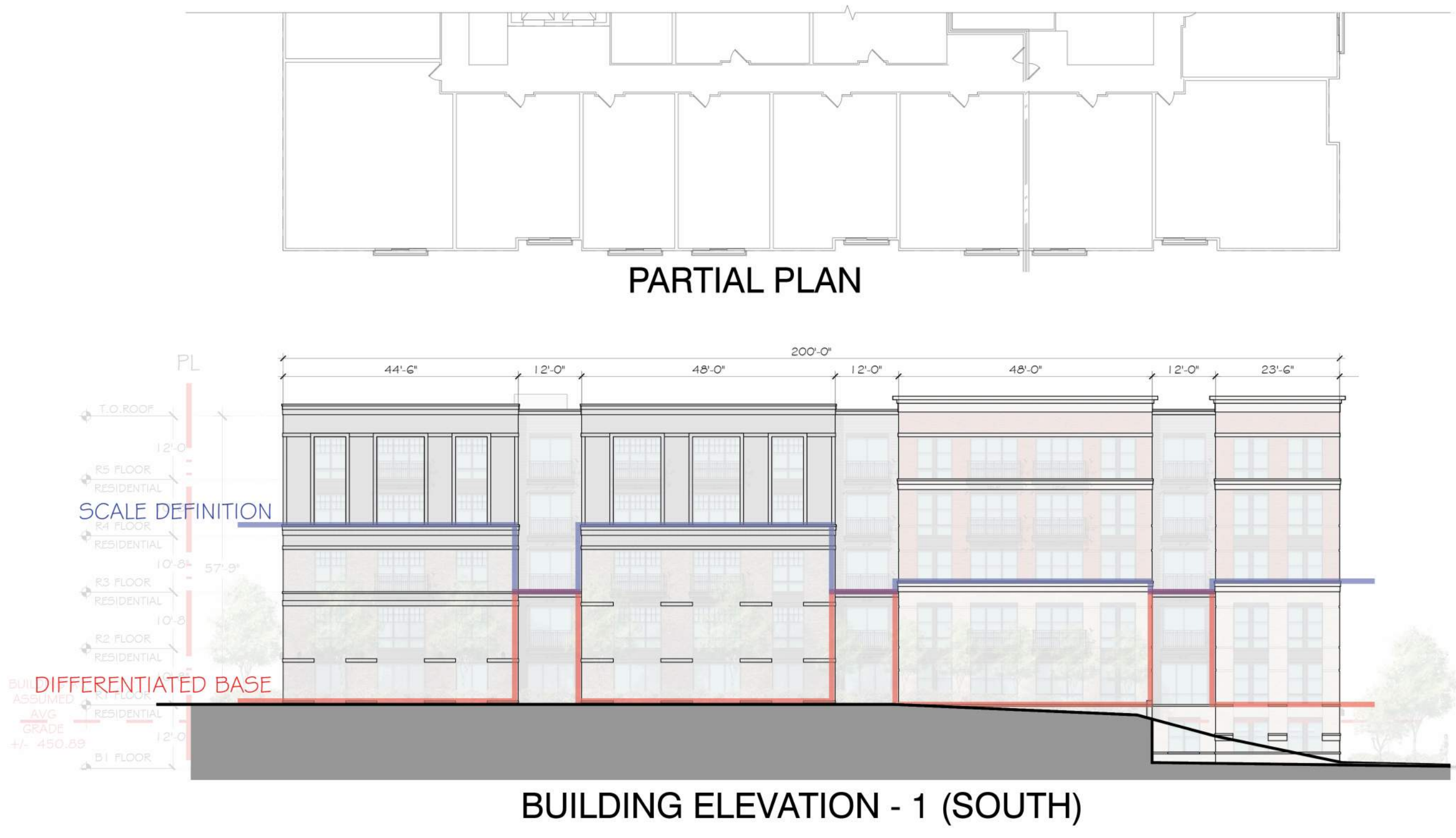
ROOF PROJECTIONS DIAGRAM



KEY PLAN- ROOF PROJECTIONS

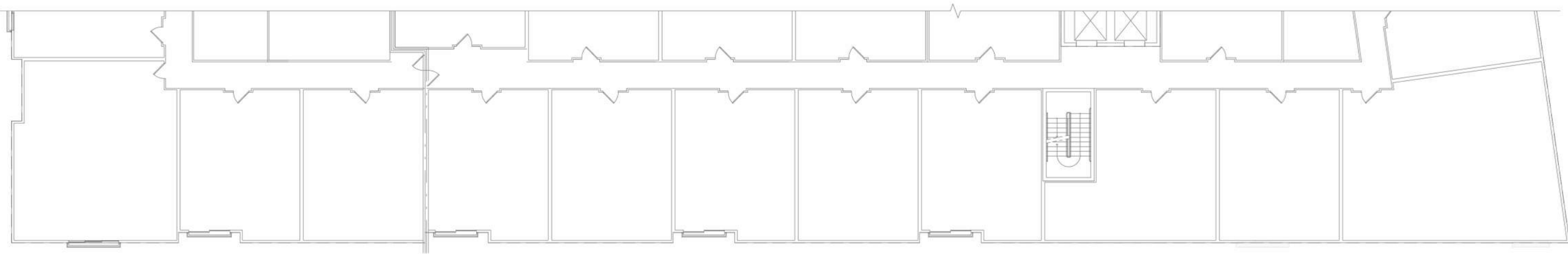
PARAPET AND ROOF PROJECTION DIAGRAMS





\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS

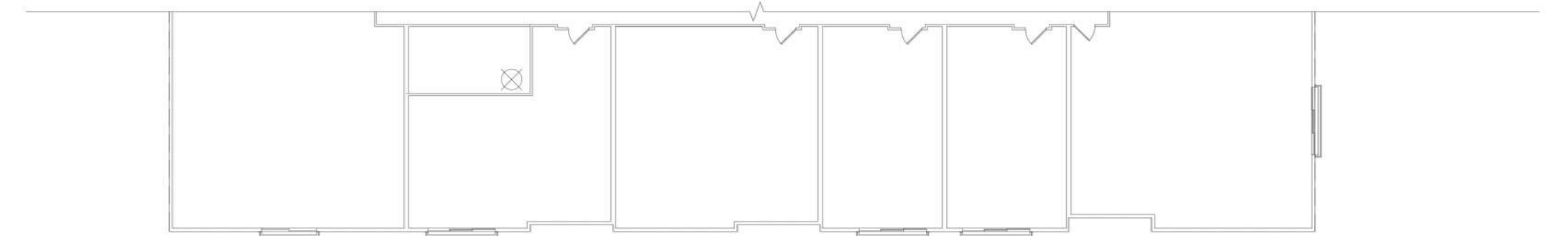




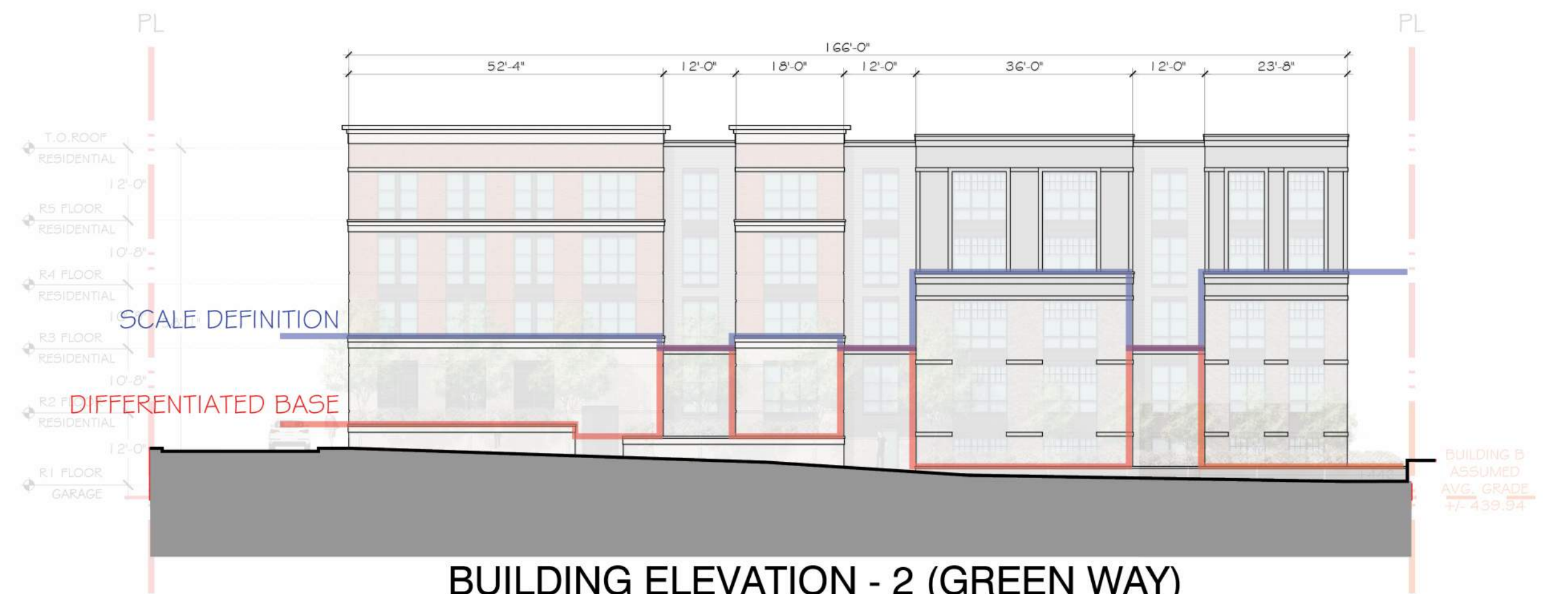
PARTIAL PLAN



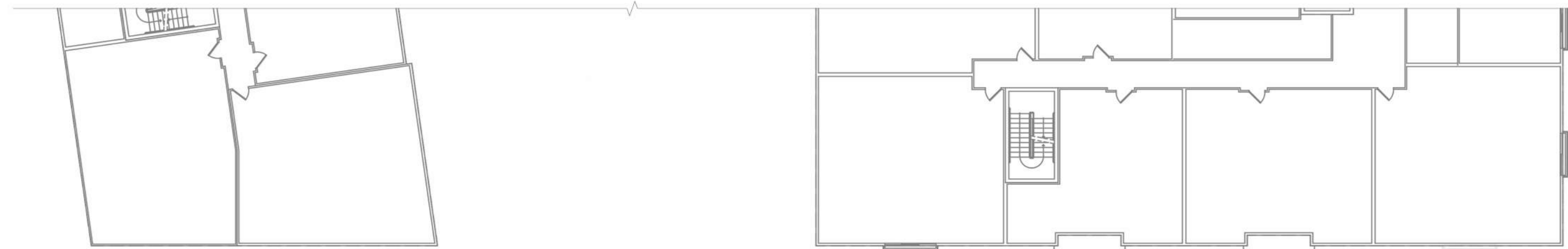
BUILDING ELEVATION - 1 (SOUTH)



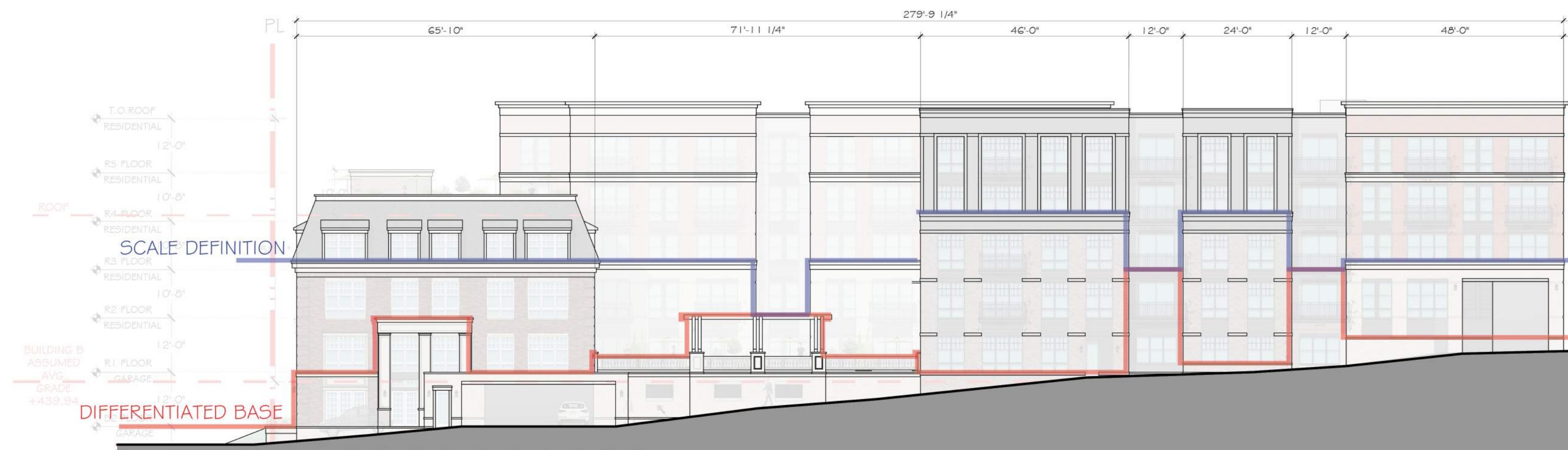
PARTIAL PLAN



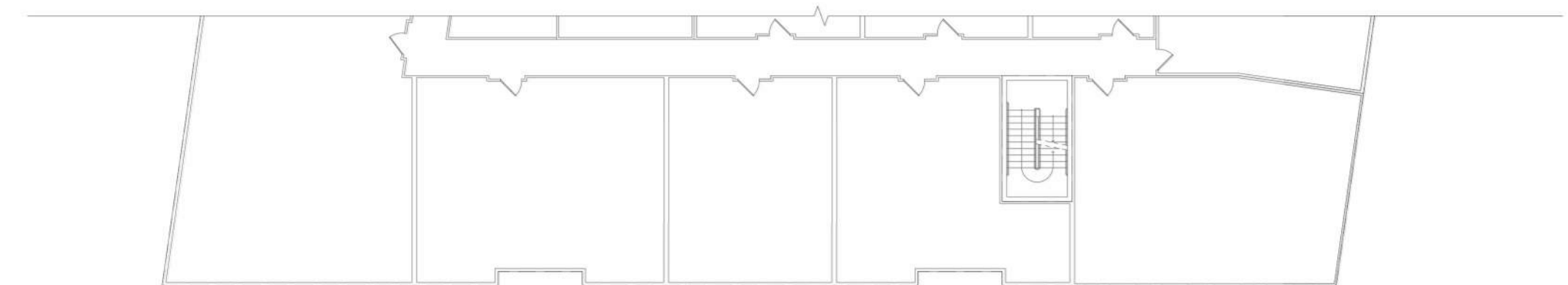
BUILDING ELEVATION - 2 (GREEN WAY)



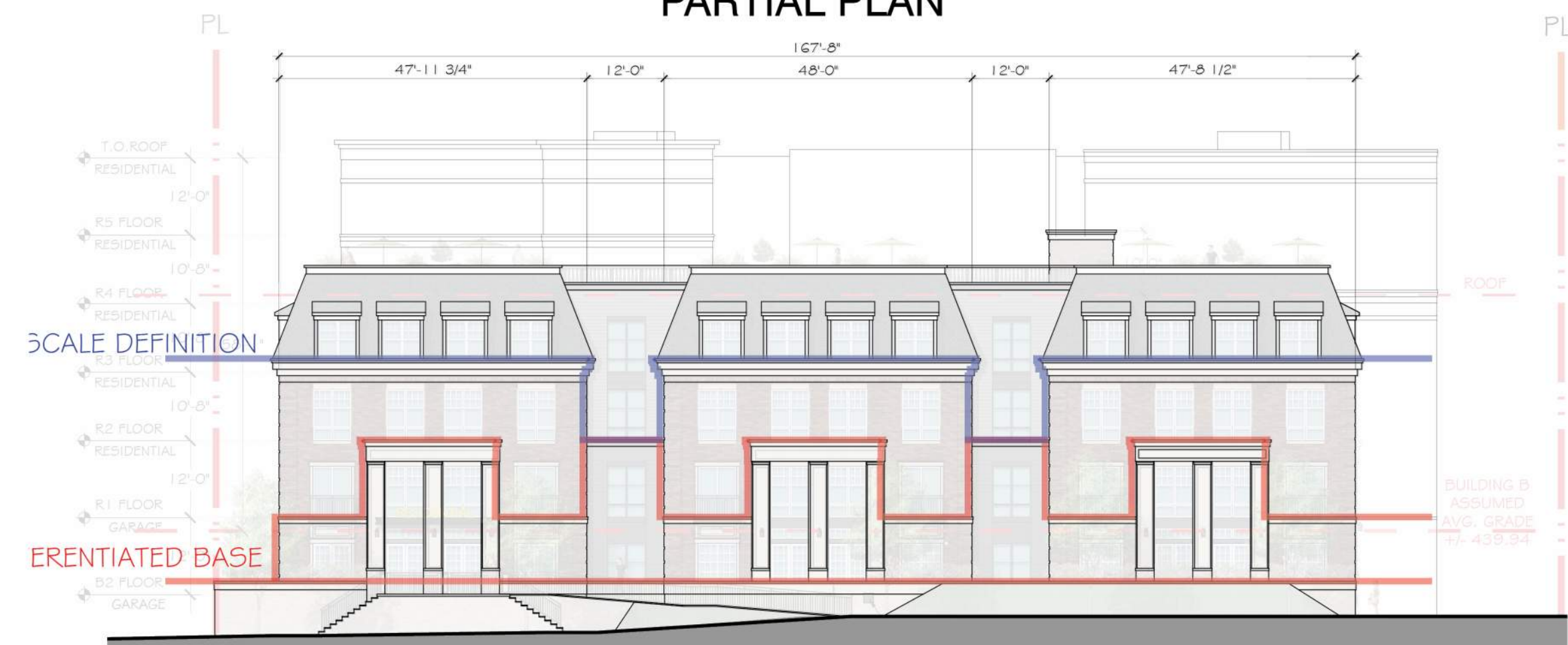
PARTIAL PLAN



BUILDING ELEVATION - 3 (INTERNAL DRIVEWAY)



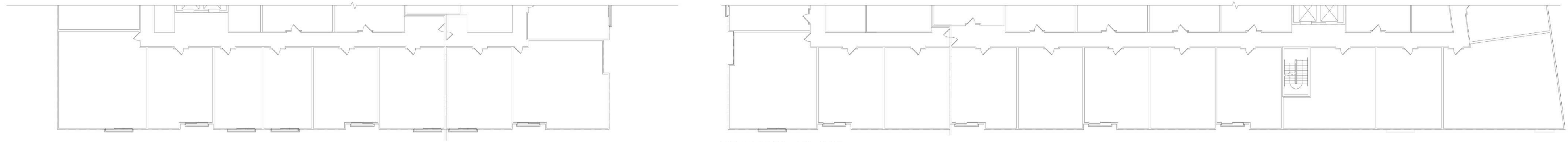
PARTIAL PLAN



BUILDING ELEVATION - 4 (UNIVERSITY DR)

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS

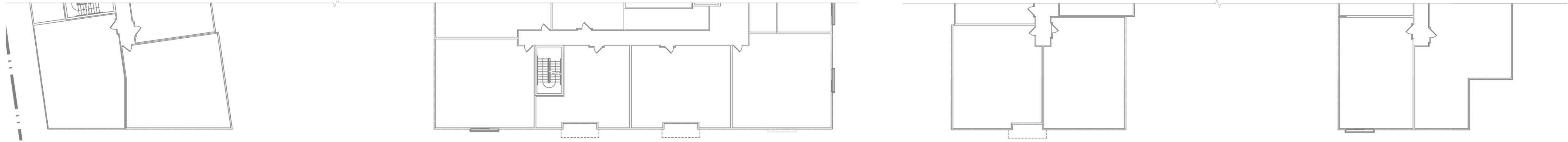




PARTIAL PLAN



SITE ELEVATION - 1 (SOUTH)



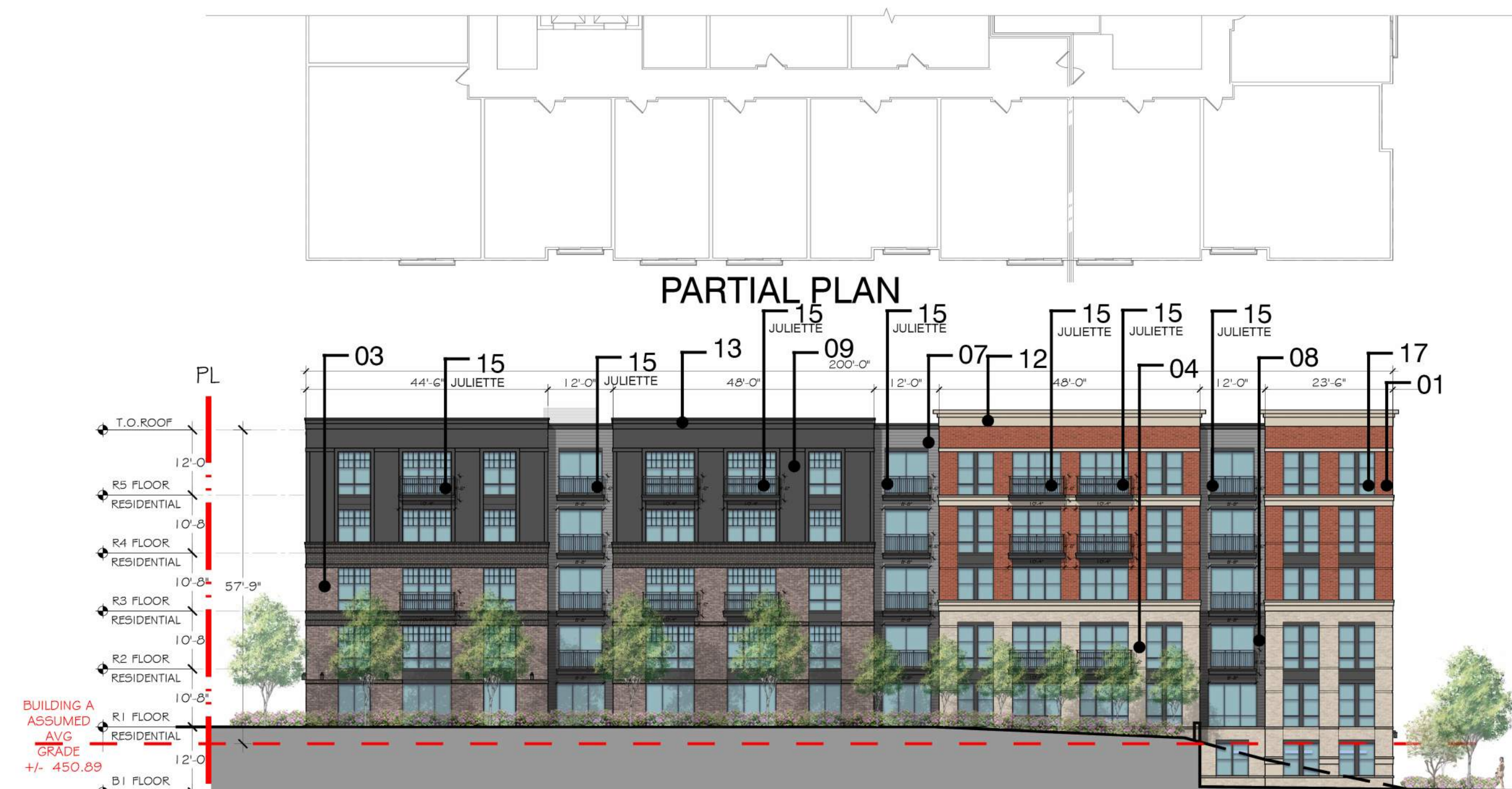
PARTIAL PLAN



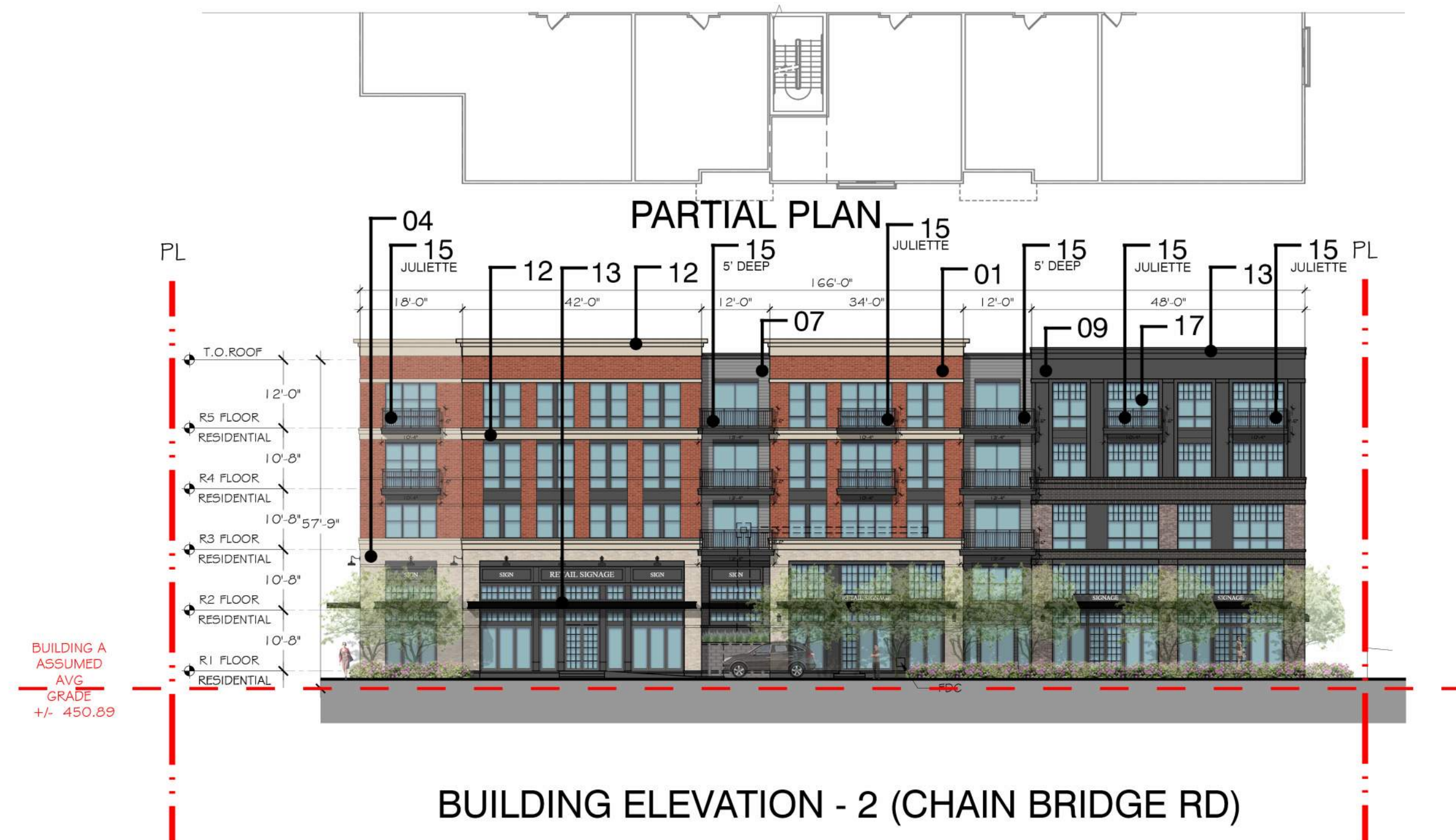
SITE ELEVATION - 2 (INTERNAL DRIVE WAY)

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS

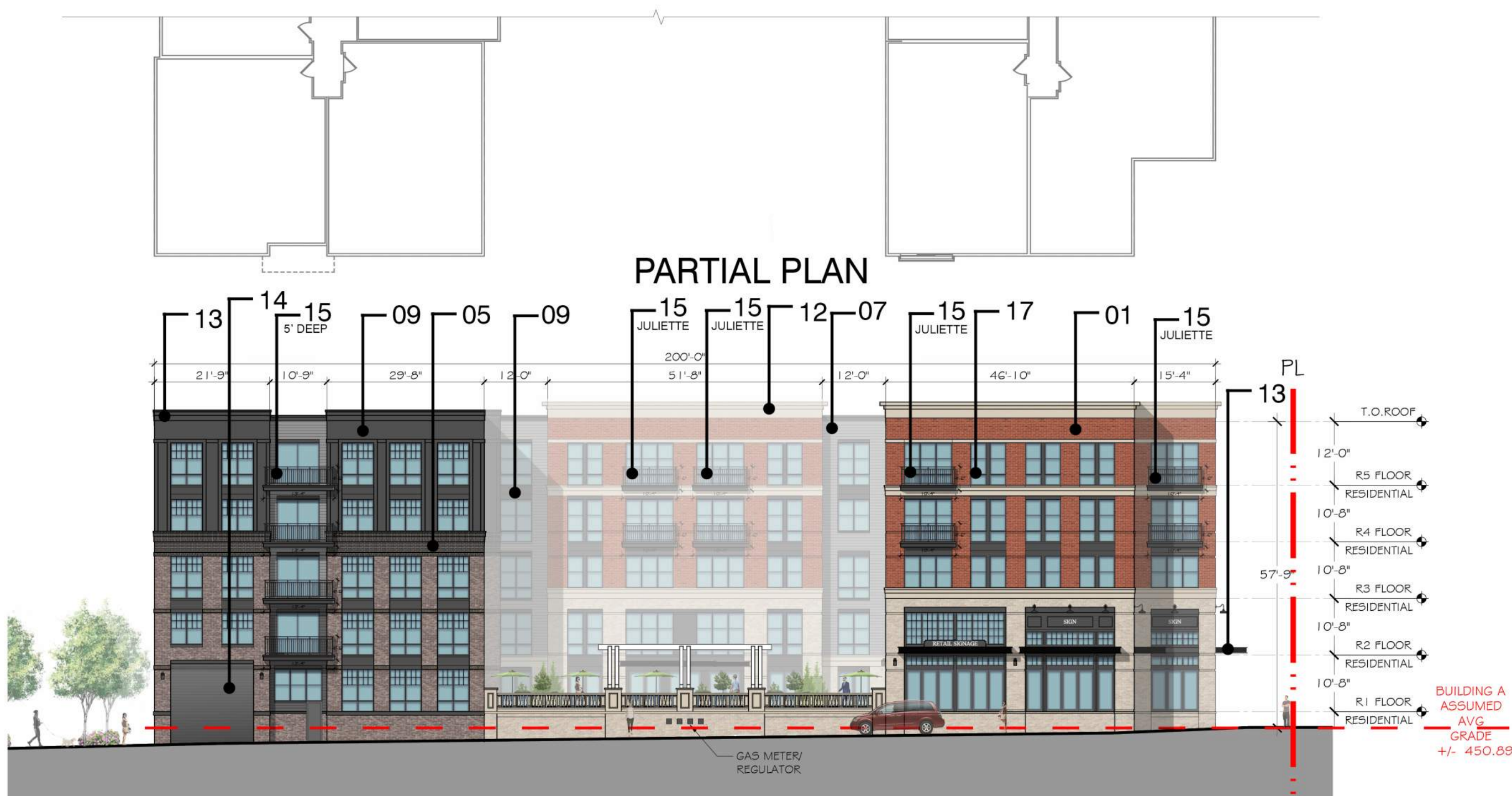




BUILDING ELEVATION - 1 (SOUTH)



BUILDING ELEVATION - 2 (CHAIN BRIDGE RD)



BUILDING ELEVATION - 3 (INTERNAL DRIVEWAY)



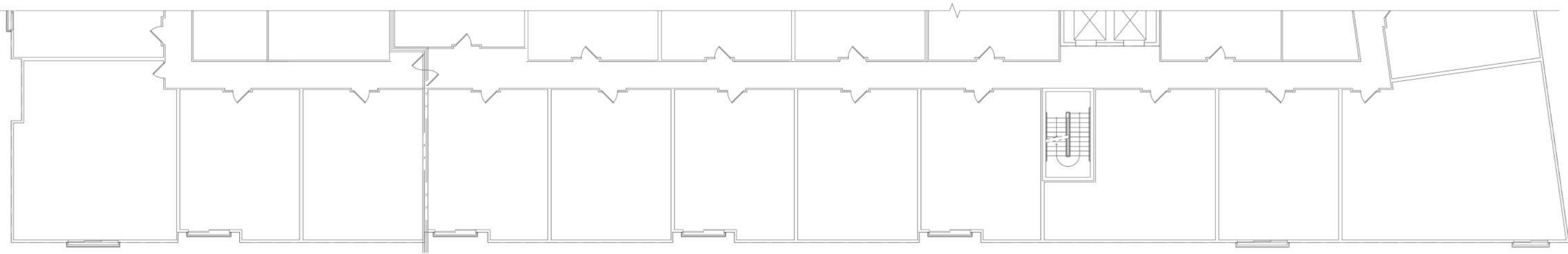
BUILDING ELEVATION - 4 (GREEN WAY)

**MATERIAL LEGEND**

- 01 BRICK - RED
- 02 BRICK - BURGUNDY
- 03 BRICK - BURGUNDY / GREY RANGE
- 04 BRICK - TAN
- 05 BRICK - BLACK IRONSPOT
- 06 ROOF SHINGLES - BLACK
- 07 SIDING - MEDIUM GREY
- 08 SIDING - DARK GREY
- 09 CEMENTITIOUS BOARD - DARK GREY
- 10 FIBER CEMENT TRIM - WHITE
- 11 ARCHITECTURAL STONE - BEIGE
- 12 METAL CORNICE - BEIGE
- 13 METAL CORNICE & CANOPY - DARK GREY
- 14 ALUMINUM OVERHEAD DOOR
- 15 METAL BALCONY - DARK GREY
- 16 DECORATIVE GRILLS - DARK GREY
- 17 VINYL WINDOWS - DARK GREY/WHITE

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS

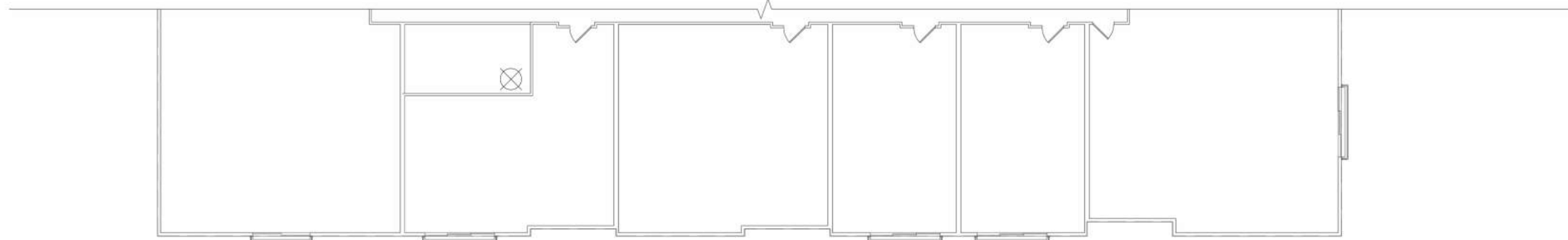




PARTIAL PLAN



BUILDING ELEVATION - 1 (SOUTH)



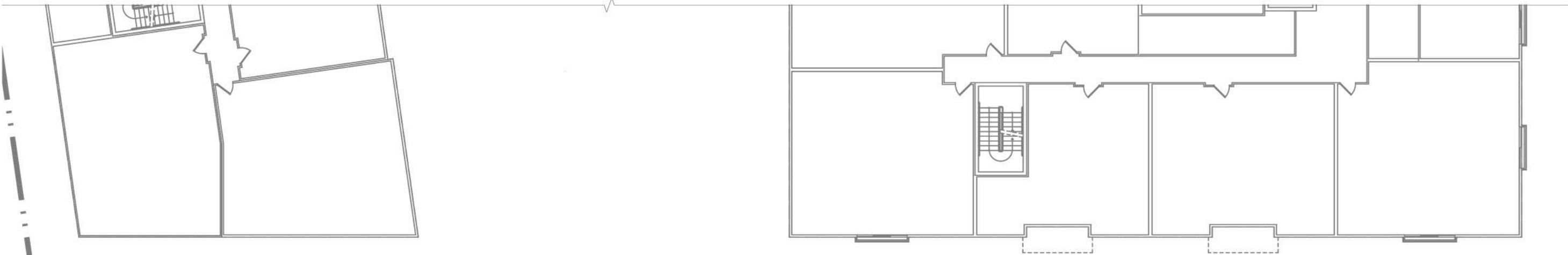
PARTIAL PLAN



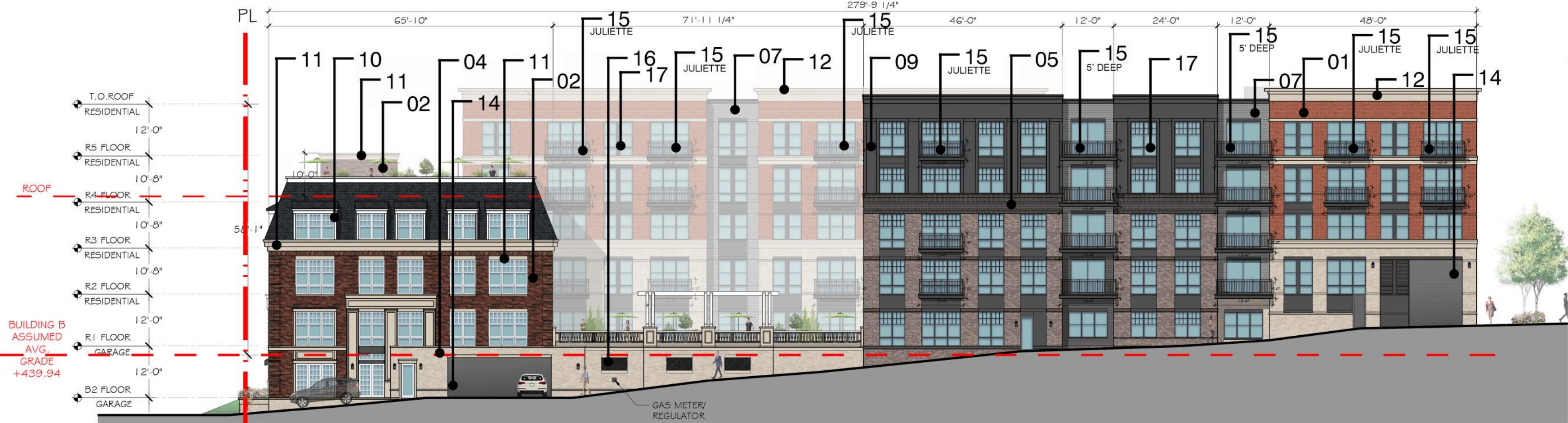
BUILDING ELEVATION - 2 (GREEN WAY)

MATERIAL LEGEND

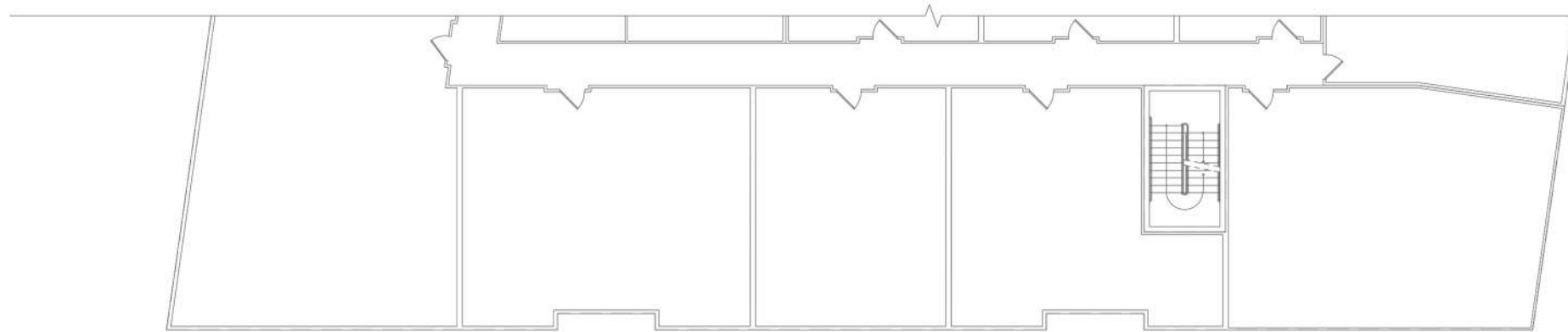
- 01 BRICK - RED
- 02 BRICK - BURGUNDY
- 03 BRICK - BURGUNDY / GREY RANGE
- 04 BRICK - TAN
- 05 BRICK - BLACK IRONSPOT
- 06 ROOF SHINGLES - BLACK
- 07 SIDING - MEDIUM GREY
- 08 SIDING - DARK GREY
- 09 CEMENTITIOUS BOARD - DARK GREY
- 10 FIBER CEMENT TRIM - WHITE
- 11 ARCHITECTURAL STONE - BEIGE
- 12 METAL CORNICE - BEIGE
- 13 METAL CORNICE & CANOPY - DARK GREY
- 14 ALUMINUM OVERHEAD DOOR
- 15 METAL BALCONY - DARK GREY
- 16 DECORATIVE GRILLS - DARK GREY
- 17 VINYL WINDOWS - DARK GREY/WHITE



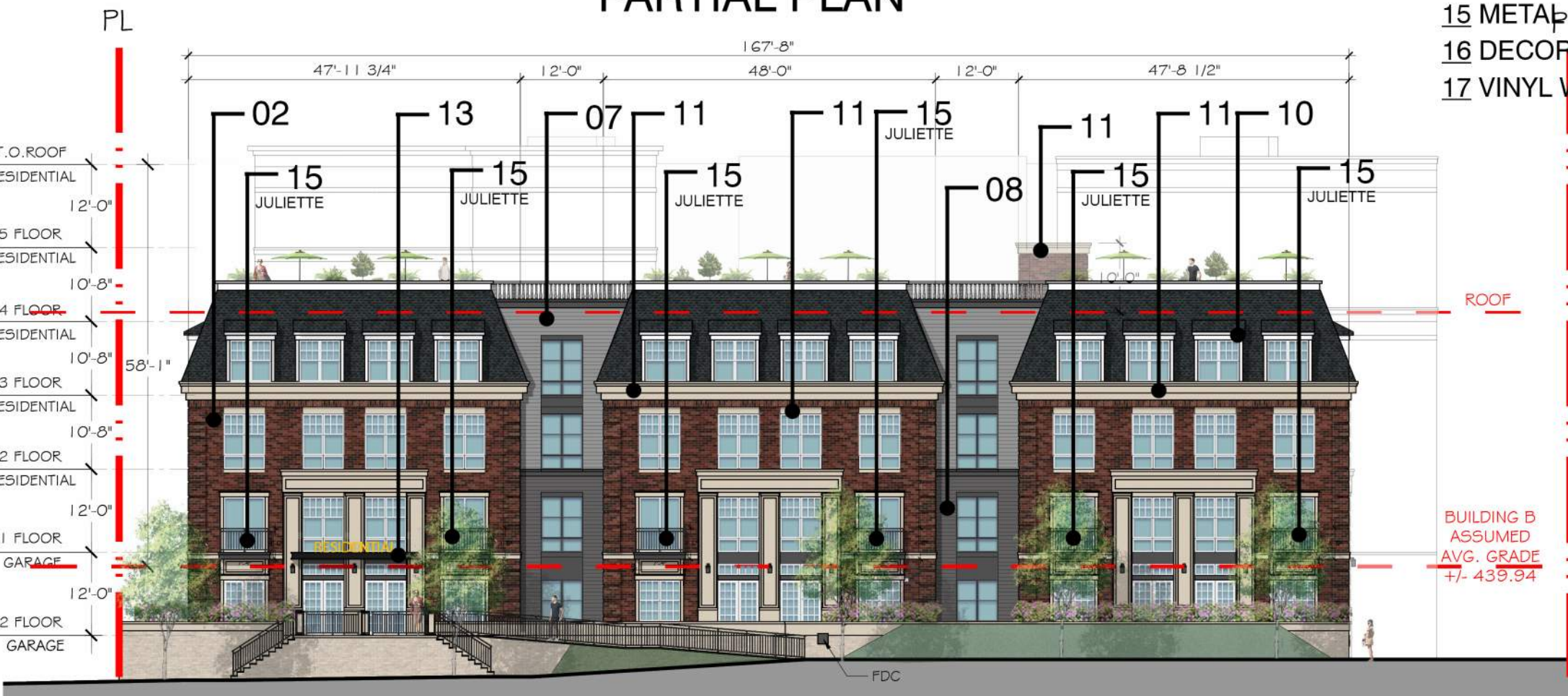
PARTIAL PLAN



BUILDING ELEVATION - 3 (INTERNAL DRIVEWAY)



PARTIAL PLAN



BUILDING ELEVATION - 4 (UNIVERSITY DR)

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS







BUILDING A  
ASSUMED  
AVG  
GRADE  
+/- 450.89

R4 FLOOR  
RESIDENTIAL  
10'-8" 57'-9"

R3 FLOOR  
RESIDENTIAL  
10'-8"

R2 FLOOR  
RESIDENTIAL  
10'-8"

R1 FLOOR  
RESIDENTIAL



BUILDING ELEVATION - 1 (CHAIN BRIDGE RD)

R3 FLOOR  
RESIDENTIAL  
10'-8"

R2 FLOOR  
RESIDENTIAL  
12'-0"

R1 FLOOR  
GARAGE  
12'-0"

B2 FLOOR  
GARAGE



BUILDING B  
ASSUMED  
AVG. GRADE  
+/- 439.94

BUILDING ELEVATION - 2 (UNIVERSITY DR)

\*NOTE: REFER TO SHEET A.28 AND A.29 FOR MATERIAL INFORMATION

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED  
WITH EQUIVALENT AND COMPATIBLE OPTIONS

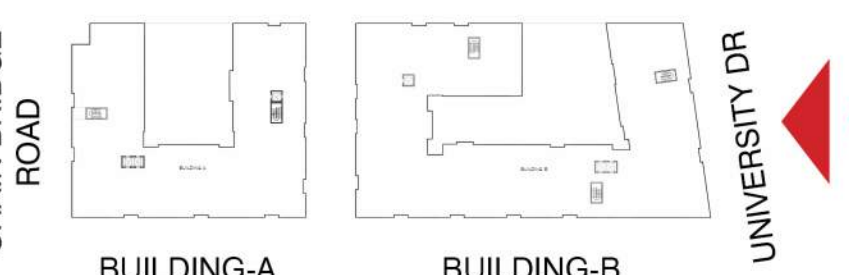


8521 LEESBURG PIKE, SEVENTH FLOOR, VIENNA, VA 22182  
P: 571.830.1800 | F: 571.830.1801 | WWW.LESSARDDESIGN.COM

## ENLARGED ELEVATIONS

4131 CHAIN BRIDGE ROAD

CITY OF FAIRFAX, VA  
PARADIGM DEVELOPMENT



KEY PLAN

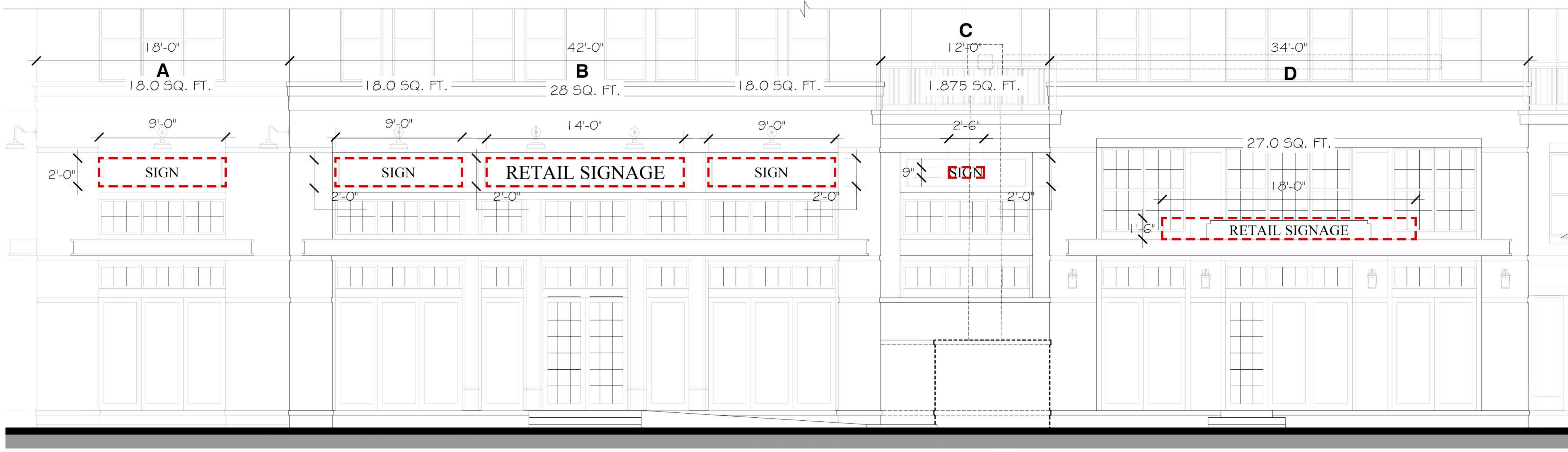
DEC. 04, 2024  
PDM.015

0' 4' 8' 16'  
SCALE: 1/8" = 1'-0" (@ 22"x34")

A.31

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ELEVATION - 3 (CHAIN BRIDGE ROAD)

COMPLIANCE NOTES -

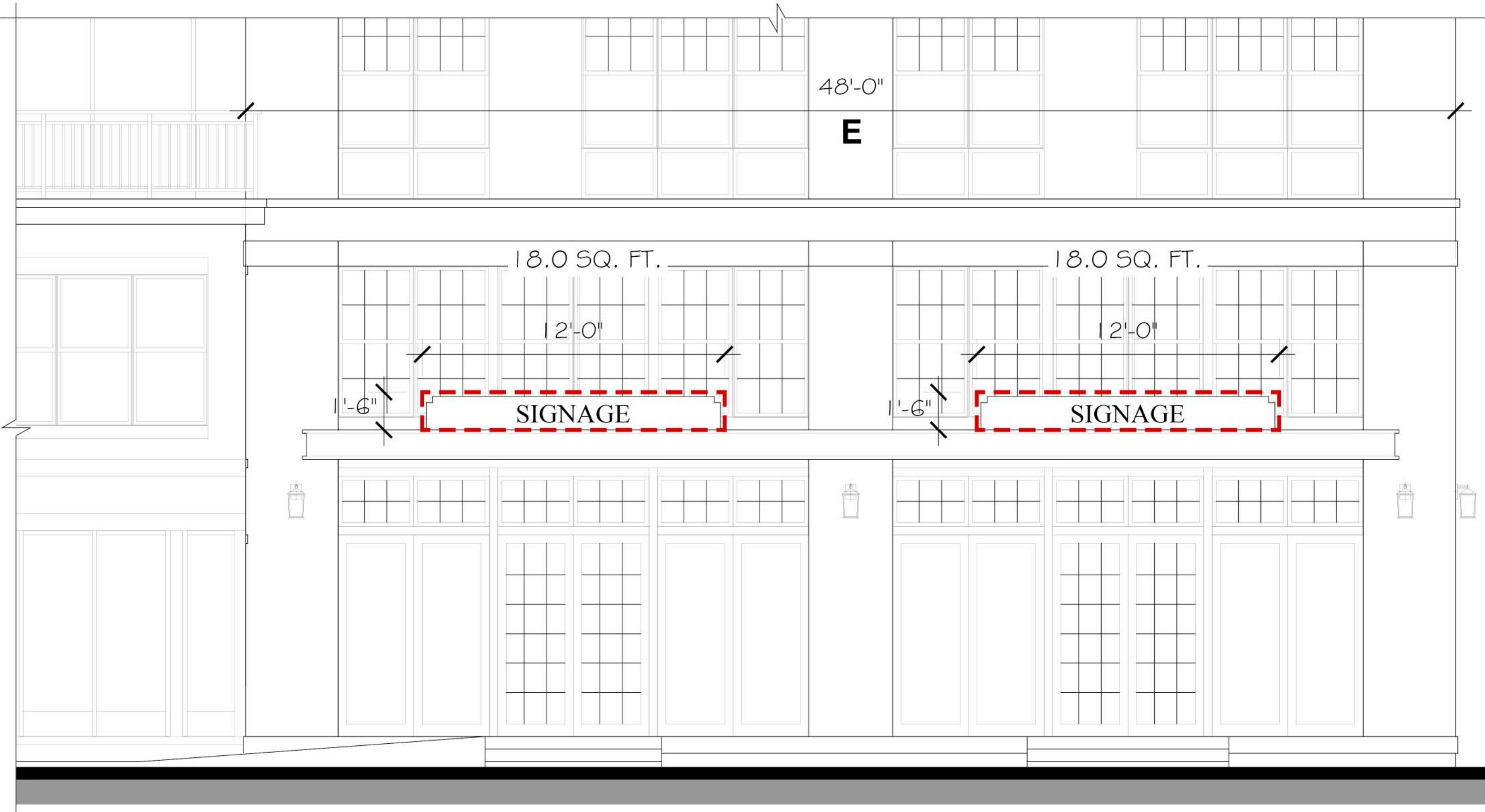
A. PERMANENT SIGN REQUIREMENTS, (CITY CODE § 110-4.6.10.A) :

1. AWNING OR CANOPY SIGNS CAN NOT BE MORE THAN 15 SQ. FT.
2. SIGNS MAY BE ILLUMINATED.
3. SIGNS WALLS NOT EXCEED OUTSIDE THE OVER ALL LENGTH OR WIDTH OF AN AWNING OR CANOPY, OR EXTEND ABOVE THE HEIGHT OF THE BUILDINGALL TO WHICH THE AWNING OR CANOPY IS ATTACHED.

B. BUILDING-MOUNTED WALL SIGN REQUIREMENTS, (CITY CODE §110-4.6.10D) :

1. WALL SIGNS SHALL BE NO MORE THAN 2 SQ. FT. IN AREA, PER LINEAR FOOT OF A BUILDING'S FRONTAGE.
2. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE THE ROOF LINE OF A BUILDING.
3. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE TOP OF A BUILDING
4. NO WALL SIGN MAY EXTEND THE ABOVE THE LOWER EAVE LINE OF A BUILDING WITH A FLAT, PITCHED OR GAMBREL ROOF.
5. WALL SIGNS SHALL NOT EXTEND MORE THAN 12 INCHES FROM THE BUILDING FACE TO WHICH THEY ARE ATTACHED.
6. WALL SIGNS SHALL NOTE EXTEND BEYOND THE PERIMETER OF ANY BUILDING EDGE.
7. WALL SIGNS MAY BE LOCATED ON A PARAPET THAT EXTENDS NO MORE THAN FIVE FEET ABOVE THE LOWEST EAVE OF THE ROOF.

**NOTE:** THE TEXT SHOWN IN THE PROPOSED SIGN AREAS IS FOR ILLUSTRATION PURPOSES ONLY, THE RED-DASHED RECTANGLES REPRESENT THE SIGN AREA, THEIR SPECIFIC TEXT CONTENTS AND FONT TYPE AND SIZE ARE TO BE DEFINED AS THE PROJECT EVOLVES, WHEN SPECIFIC RETAIL TENANT IS AVAILABLE AND MARKETING DEVELOPMENT NAME HAS BEEN DEFINED. FUTURE, TO-BE-DEFINED SIGNAGE DETAILS ARE TO REMAIN WITHIN THE PROPOSED RED-DASHED RECTANGLES.



ELEVATION - 1 (CHAIN BRIDGE ROAD)

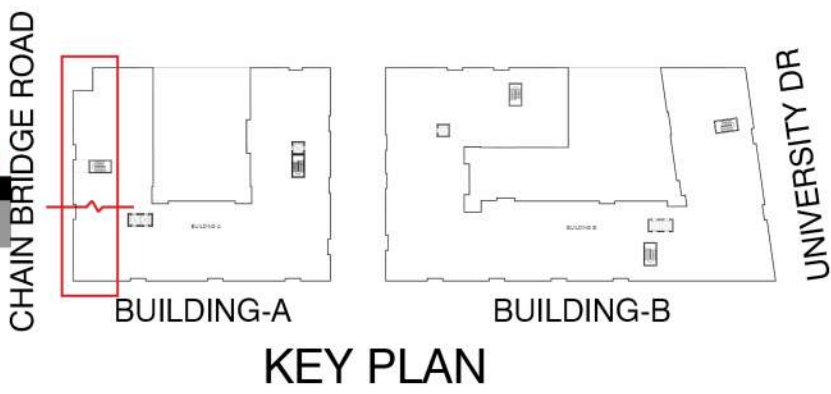
**A. 18' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 18.00 LINEAR FEET.  
ALLOWED SIGN AREA: 36.00 SQ. FT.  
PROPOSED SIGN: 2' X 9' = 18.00 SQ. FT.

**B. 42' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 42.00 LINEAR FEET.  
ALLOWED SIGN AREA: 84.00 SQ. FT.  
PROPOSED SIGNS:  
2' X 9' = 18.00 SQ. FT.  
2' X 14' = 28.00 SQ. FT.  
2' X 9' = 18.00 SQ. FT.  
TOTAL PROPOSED SIGN AREA: 64 SQ. FT.

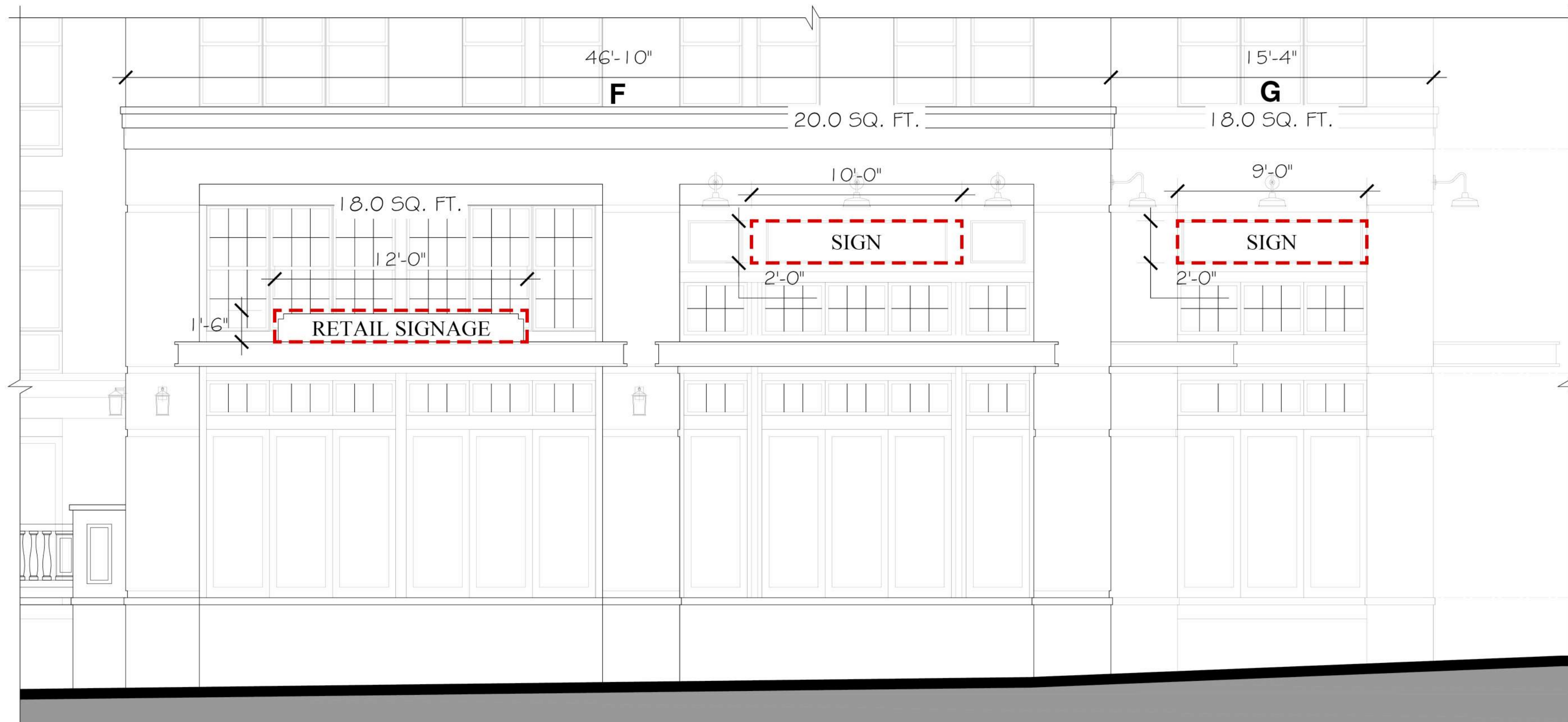
**C. 12' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 12.00 LINEAR FEET.  
ALLOWED SIGN AREA: 24.00 SQ. FT.  
PROPOSED SIGN: 0.75' X 2.5' = 1.875 SQ. FT.

**D. 34' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 34.00 LINEAR FEET.  
ALLOWED SIGN AREA: 68.00 SQ. FT.  
PROPOSED SIGN: 1.5' X 18' = 27.00 SQ. FT.

**E. 48' WIDE WALL:**  
WALL LENGTH (FRONTAGE): 48.00 LINEAR FEET.  
ALLOWED SIGN AREA: 96.00 SQ. FT.  
PROPOSED SIGNS:  
1.5' X 12' = 18.00 SQ. FT.)  
1.5' X 12' = 18.00 SQ. FT.  
TOTAL PROPOSED SIGN AREA: 36 SQ. FT.







ELEVATION - 2 (INTERNAL DRIVEWAY)

## COMPLIANCE NOTES -

### A. PERMANENT SIGN REQUIREMENTS, (CITY CODE § 110-4.6.10.A) :

1. AWNING OR CANOPY SIGNS CAN NOT BE MORE THAN 15 SQ. FT.
2. SIGNS MAY BE ILLUMINATED.
3. SIGNS WALLS NOT EXCEED OUTSIDE THE OVER ALL LENGTH OR WIDTH OF AN AWNING OR CANOPY, OR EXTEND ABOVE THE HEIGHT OF THE BUILDINGALL TO WHICH THE AWNING OR CANOPY IS ATTACHED.

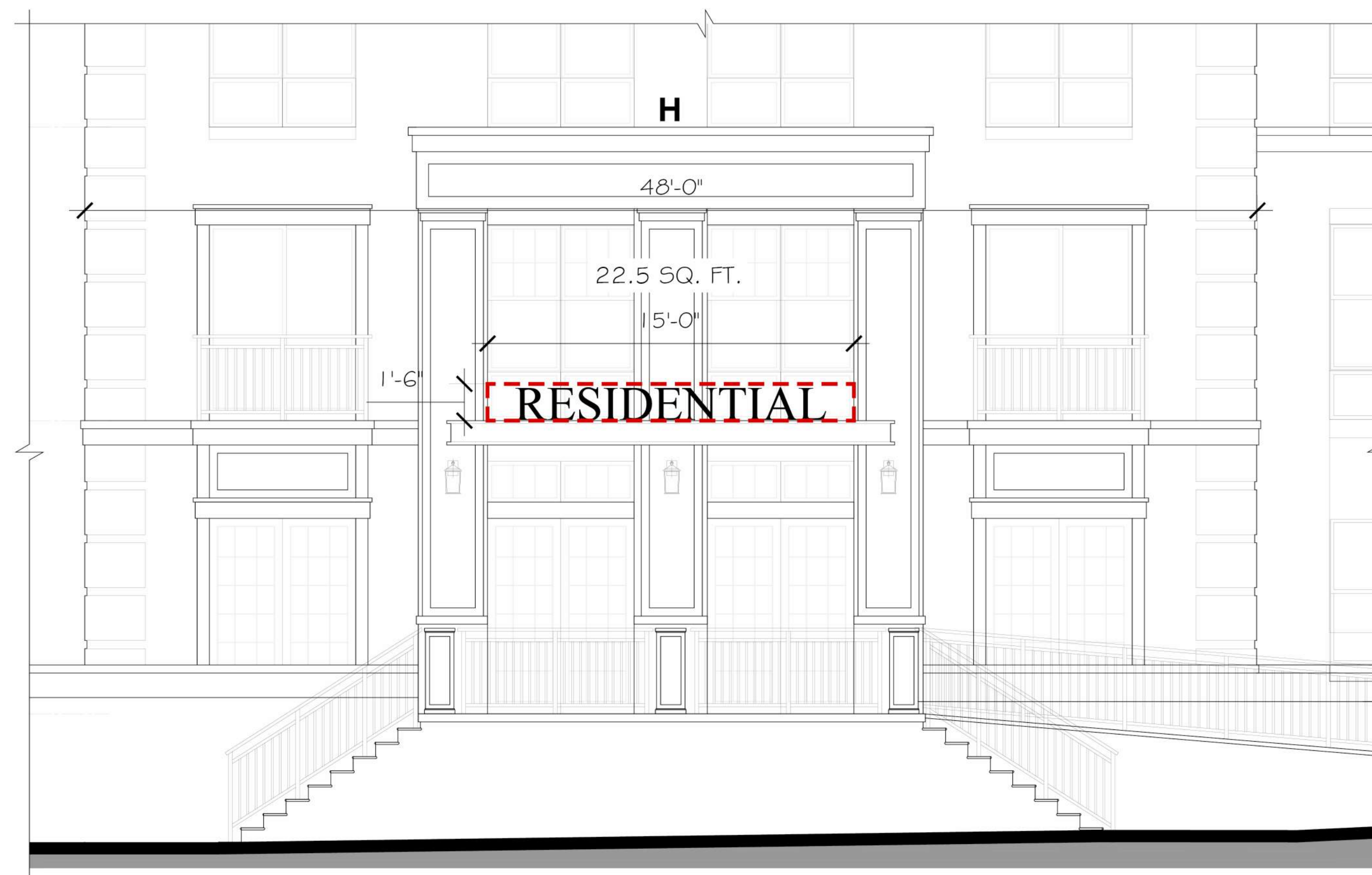
### B. BUILDING-MOUNTED WALL SIGN REQUIREMENTS, (CITY CODE §110-4.6.10D) :

1. WALL SIGNS SHALL BE NO MORE THAN 2 SQ. FT. IN AREA, PER LINEAR FOOT OF A BUILDING'S FRONTAGE.
2. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE THE ROOF LINE OF A BUILDING.
3. NO PORTION OF A WALL SIGN MAY EXTEND ABOVE TOP OF A BUILDING
4. NO WALL SIGN MAY EXTEND THE ABOVE THE LOWER EAVE LINE OF A BUILDING WITH A FLAT, PITCHED OR GAMBREL ROOF.
5. WALL SIGNS SHALL NOT EXTEND MORE THAN 12 INCHES FROM THE BUILDING FACE TO WHICH THEY ARE ATTACHED.
6. WALL SIGNS SHALL NOTE EXTEND BEYOND THE PERIMETER OF ANY BUILDING EDGE.
7. WALL SIGNS MAY BE LOCATED ON A PARAPET THAT EXTENDS NO MORE THAN FIVE FEET ABOVE THE LOWEST EAVE OF THE ROOF.

**NOTE:** THE TEXT SHOWN IN THE PROPOSED SIGN AREAS IS FOR ILLUSTRATION PURPOSES ONLY, THE RED-DASHED RECTANGLES REPRESENT THE SIGN AREA, THEIR SPECIFIC TEXT CONTENTS AND FONT TYPE AND SIZE ARE TO BE DEFINED AS THE PROJECT EVOLVES, WHEN SPECIFIC RETAIL TENANT IS AVAILABLE AND MARKETING DEVELOPMENT NAME HAS BEEN DEFINED. FUTURE, TO-BE-DEFINED SIGNAGE DETAILS ARE TO REMAIN WITHIN THE PROPOSED RED-DASHED RECTANGLES.

**F. 46'-10" WIDE WALL:**  
WALL LENGTH (FRONTAGE): 46.83 LINEAR FEET.  
ALLOWED SIGN AREA: 93.66 SQ. FT.  
PROPOSED SIGNS:  
1.5' X 12' = 18.00 SQ. FT.  
2' X 10' = 20.00 SQ. FT.  
TOTAL PROPOSED SIGN AREA: 38 SQ. FT.

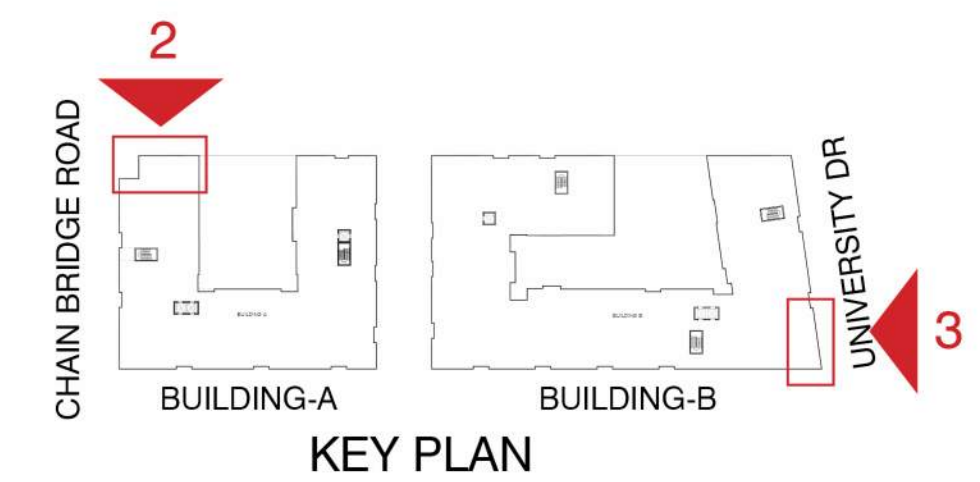
**G. 15'-4" WIDE WALL:**  
WALL LENGTH (FRONTAGE): 15.33 LINEAR FEET.  
ALLOWED SIGN AREA: 30.66 SQ. FT.  
PROPOSED SIGN: 2' X 9' = 18.00 SQ. FT.



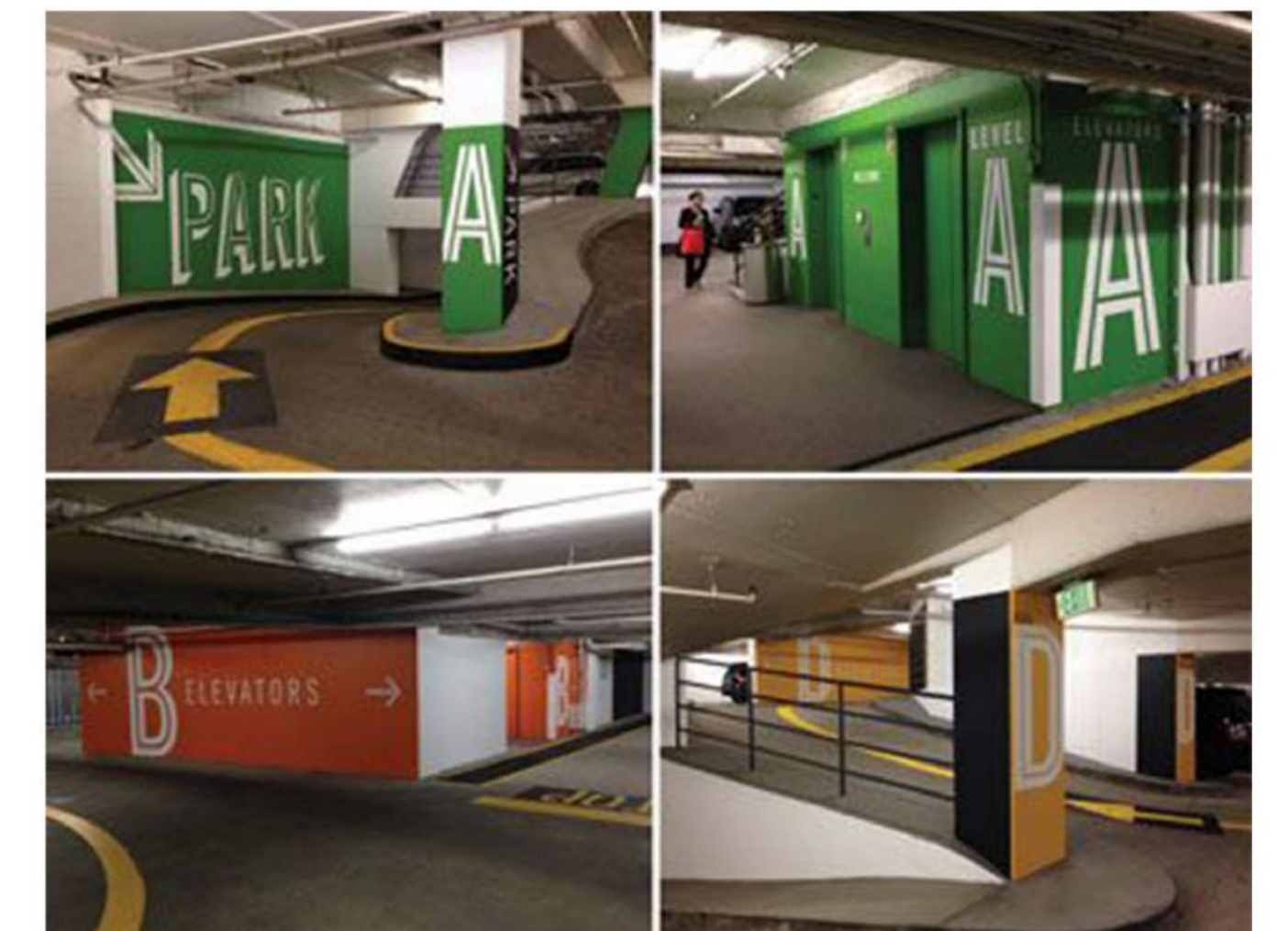
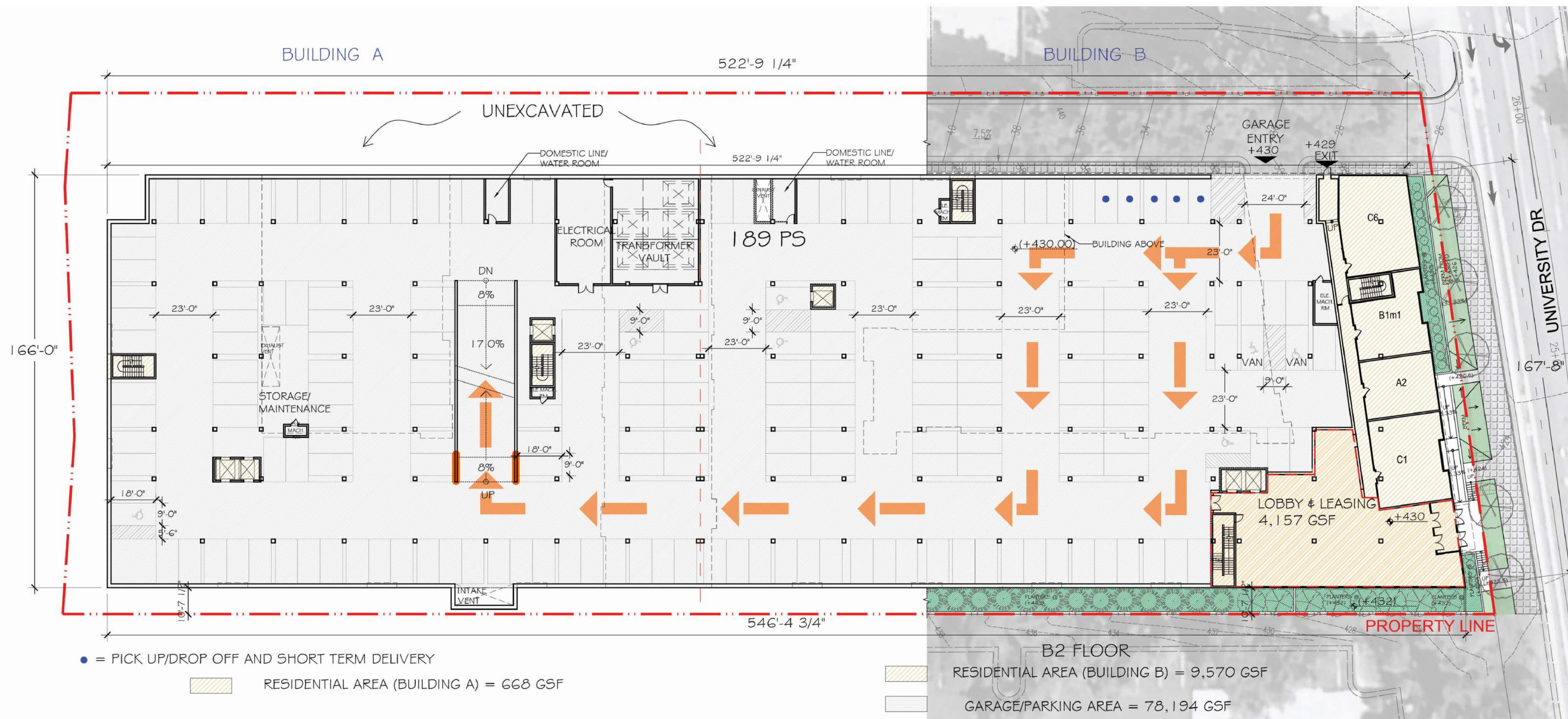
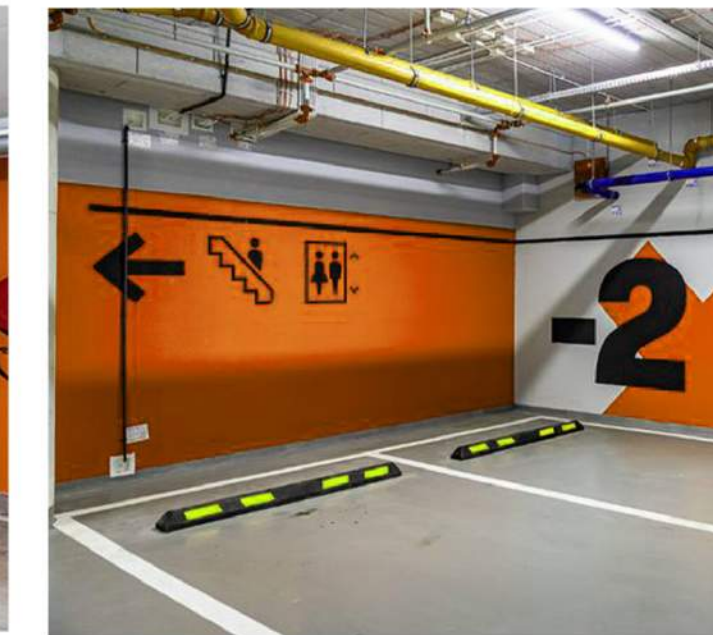
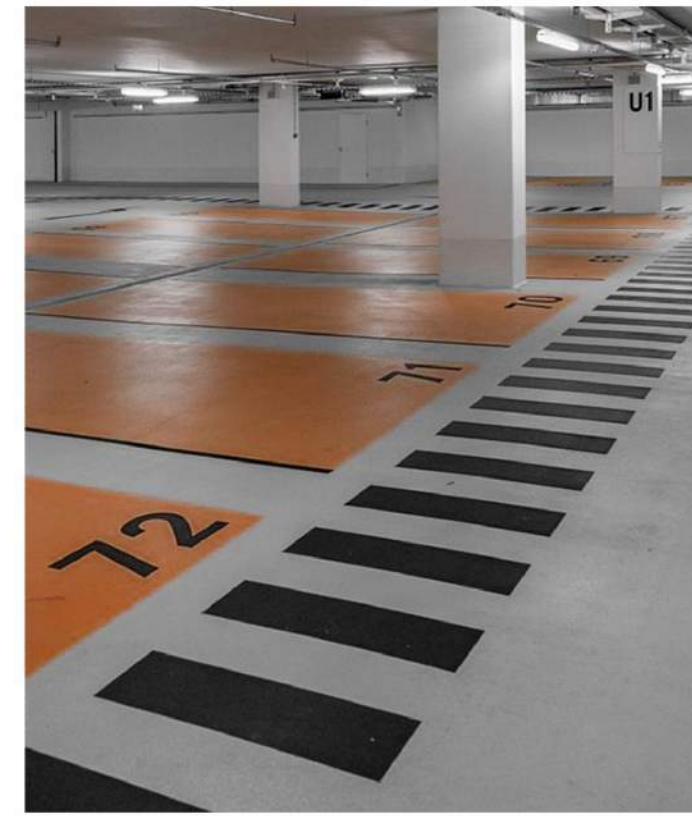
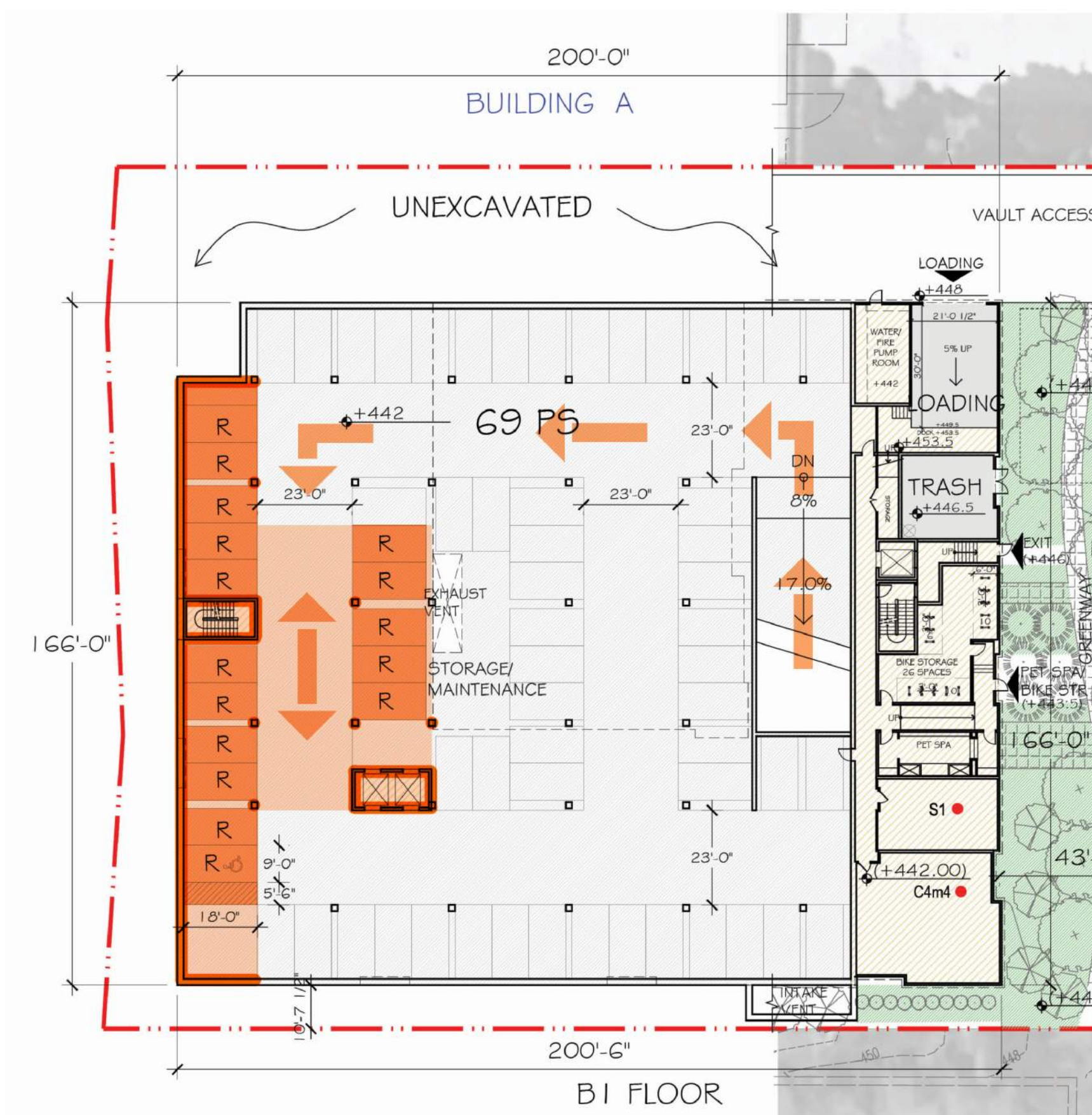
ELEVATION - 3 (UNIVERSITY DRIVE)

### H. 48'-0" WIDE WALL:

WALL LENGTH (FRONTAGE): 48.00 LINEAR FEET.  
ALLOWED SIGN AREA: 96.00 SQ. FT.  
PROPOSED SIGN: 1.5' X 15' = 22.50 SQ. FT.







#### RETAIL PARKING WAYFINDING STRATEGIES INCLUDE:

- COLOR CODED DIRECTIONAL ARROWS ON THE DRIVING SURFACE.
- COLOR CODED WALLS WITH DIRECTIONAL GRAPHICS.
- COLOR CODED RETAIL PARKING ZONE
- COLOR CODED RETAIL STALLS
- HIGHLIGHTED COLOR CODED WALLS @ ELEVATORS, STAIRS AND SURROUNDING RETAIL PARKING



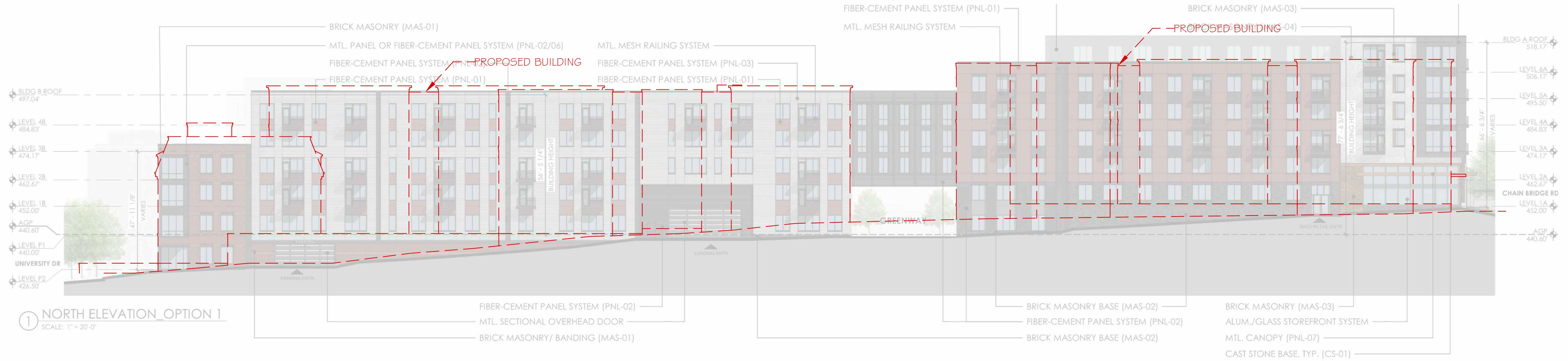


# MATERIAL LEGEND

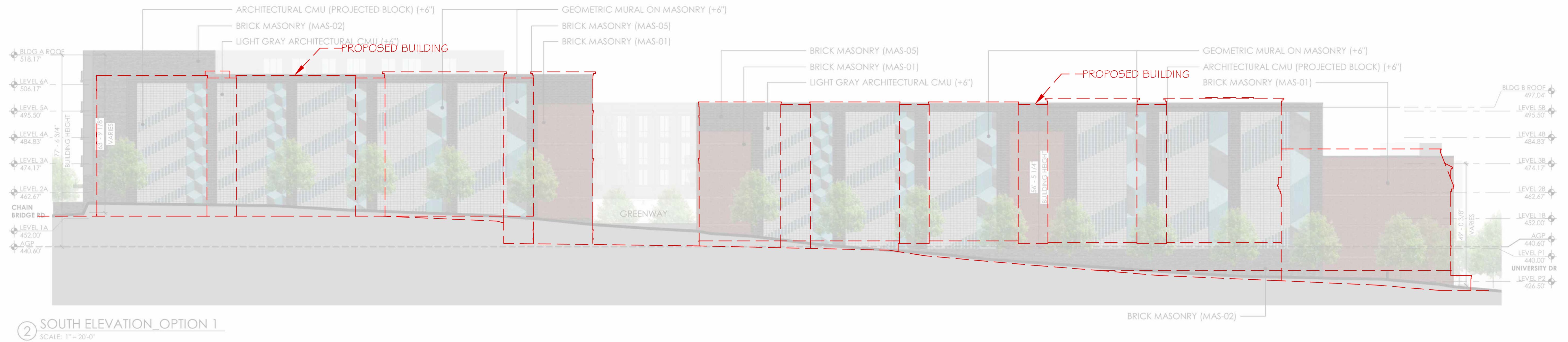
- 01 BRICK - RED
- 02 BRICK - BURGUNDY
- 03 BRICK - BURGUNDY / GREY RANGE
- 04 BRICK - TAN
- 05 BRICK - BLACK IRONSPOT
- 06 ROOF SHINGLES - BLACK
- 07 SIDING - MEDIUM GREY
- 08 SIDING - DARK GREY
- 09 CEMENTITIOUS BOARD - DARK GREY
- 10 FIBER CEMENT TRIM - WHITE
- 11 ARCHITECTURAL STONE - BEIGE
- 12 METAL CORNICE - BEIGE
- 13 METAL CORNICE & CANOPY - DARK GREY
- 14 ALUMINUM OVERHEAD DOOR
- 15 METAL BALCONY - DARK GREY
- 16 DECORATIVE GRILLS - DARK GREY
- 17 VINYL WINDOWS - DARK GREY/WHITE

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS

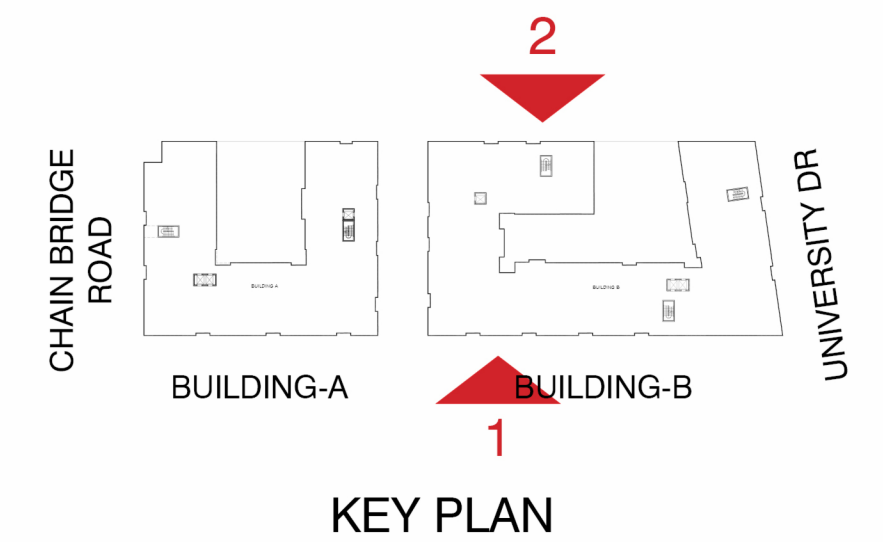




SITE ELEVATION - 2



SITE ELEVATION - 1

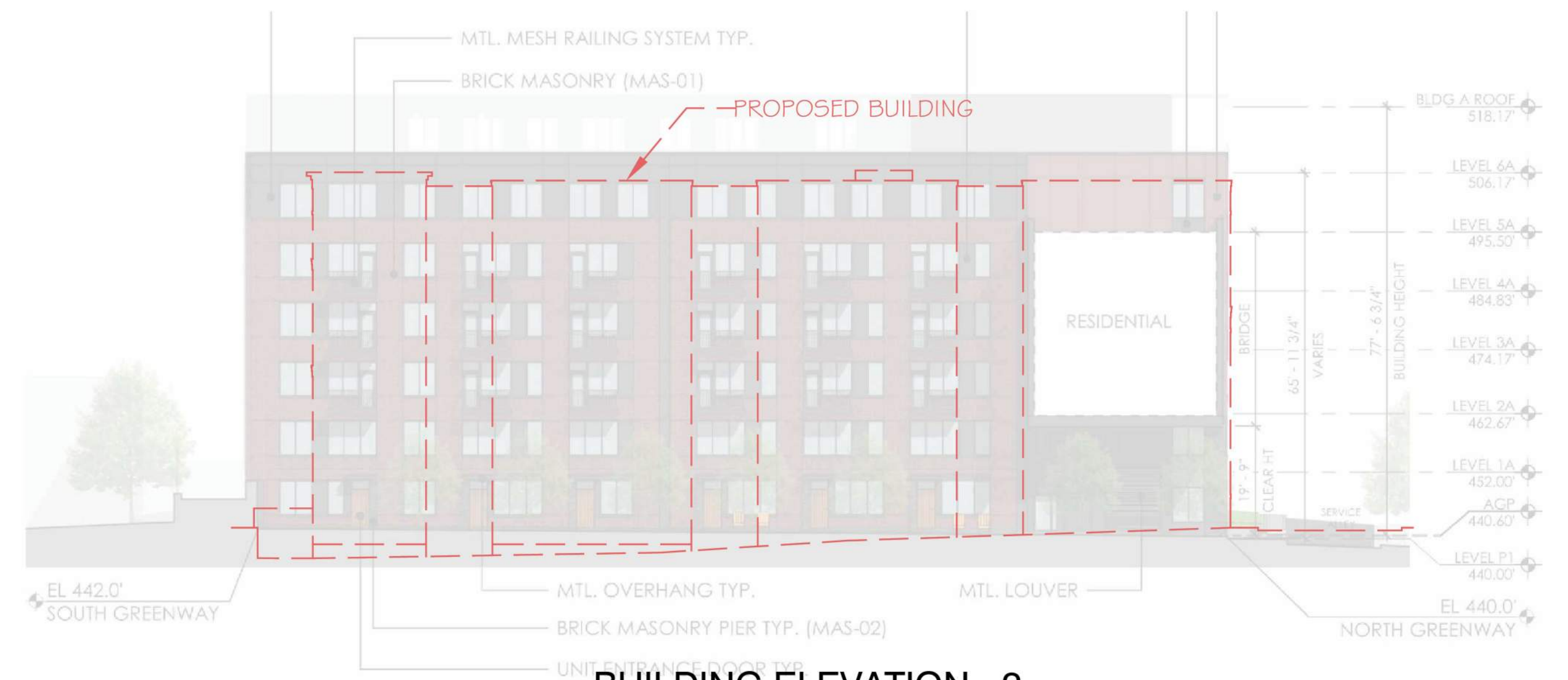






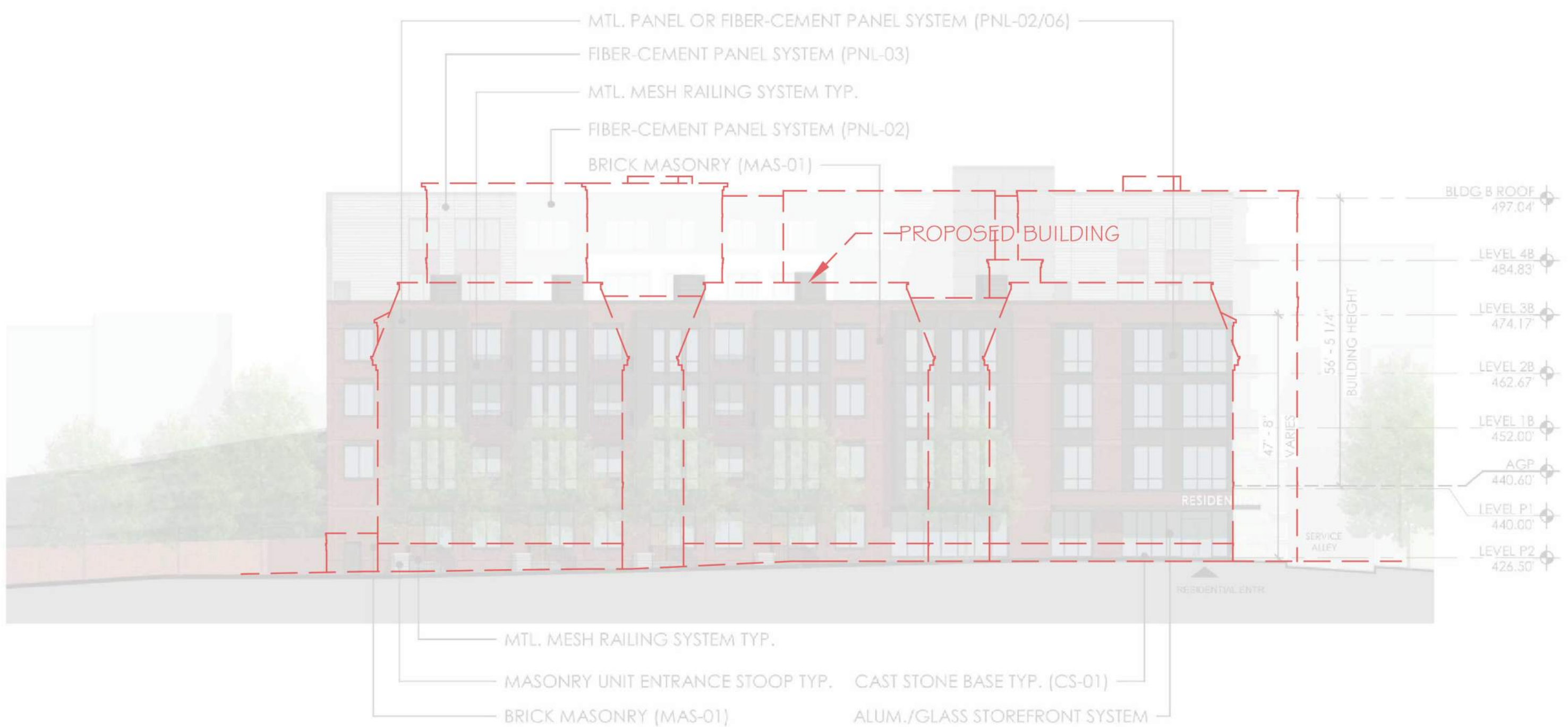
**BUILDING ELEVATION - 1**

1) BLDG A - WEST ELEVATION AT CHAIN BRIDGE RD  
SCALE: 1" = 20'-0"



**BUILDING ELEVATION - 2**

2) BLDG A - EAST ELEVATION AT GREENWAY  
SCALE: 1" = 20'-0"



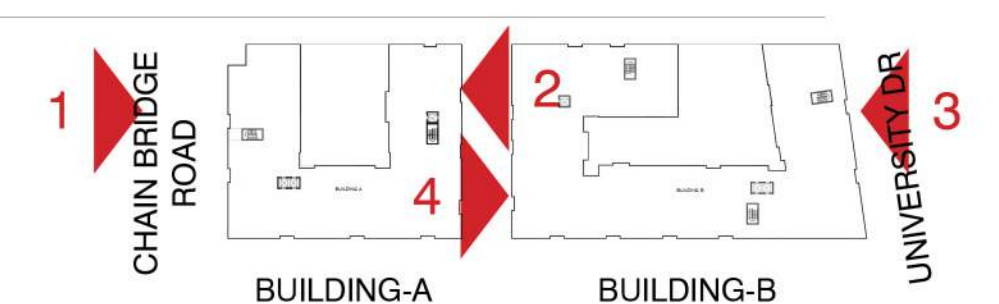
**BUILDING ELEVATION - 3**

3) BLDG B - EAST ELEVATION AT UNIVERSITY DR  
SCALE: 1" = 20'-0"



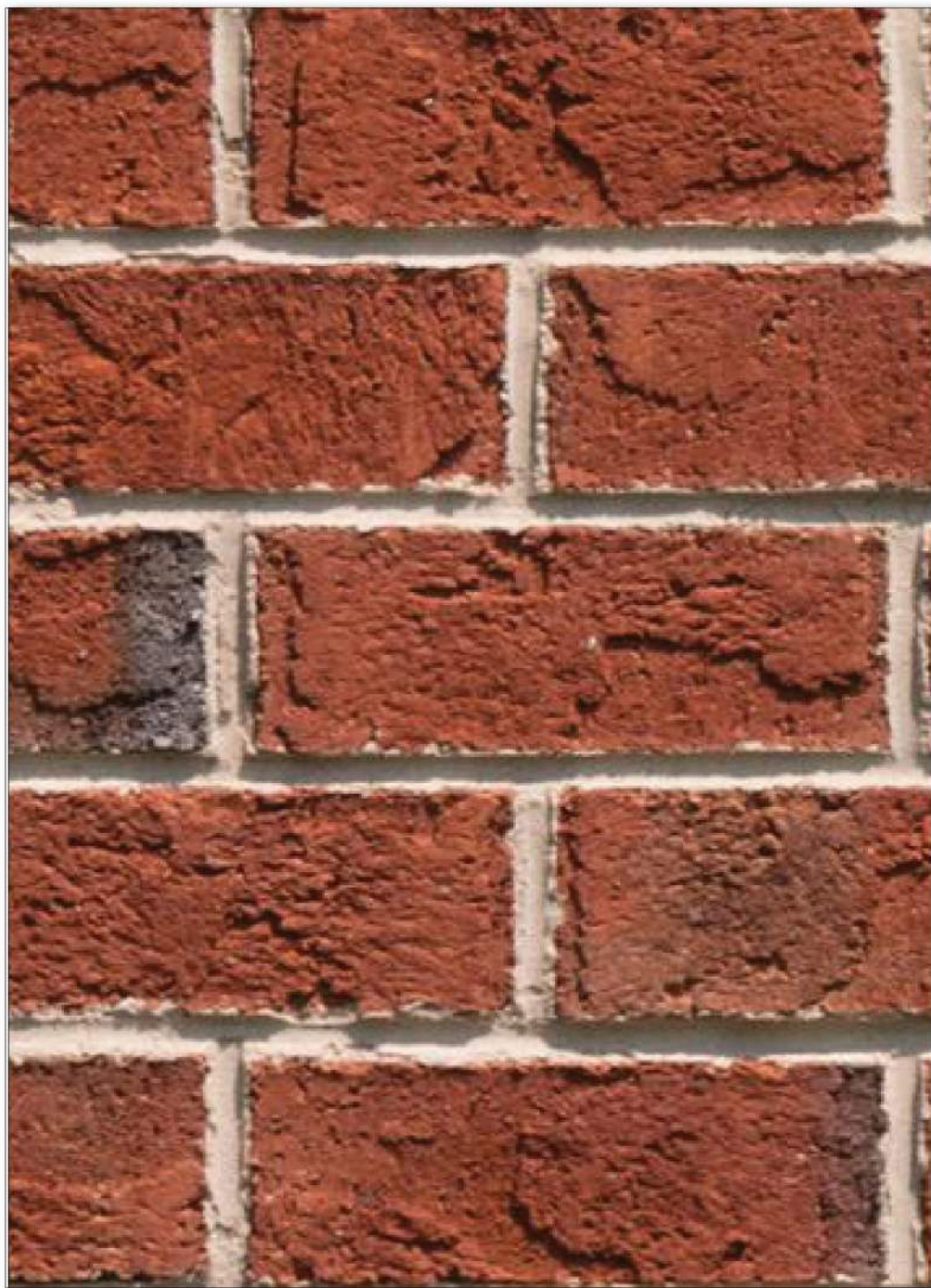
**BUILDING ELEVATION - 4**

4) BLDG B - WEST ELEVATION AT GREENWAY  
SCALE: 1" = 20'-0"



**KEY PLAN**

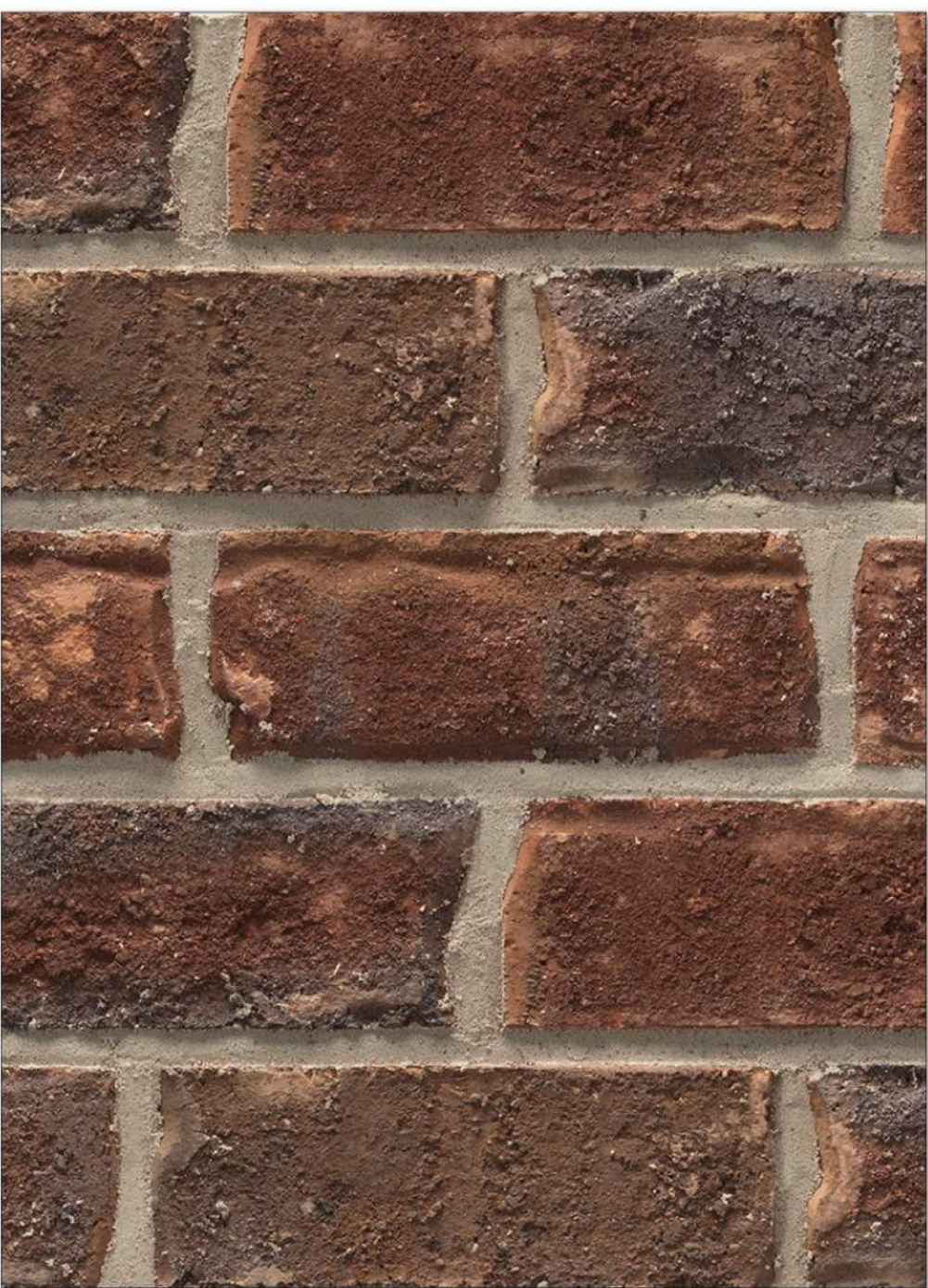




**01** **BRICK 1**  
RED  
MANUFACTURER: TRIANGLE  
BRICK  
COLOR: CAPE COD



**02** **BRICK 2**  
BURGUNDY  
MANUFACTURER: ENDICOTT  
CLAY PRODUCTS CO.  
COLOR: BURGUNDY SANDS



**03** **BRICK 3**  
BURGUNDY / GRAY RANGE  
MANUFACTURER: POTOMAC  
VALLEY BRICK AND SUPPLY CO.  
COLOR: GS MERIDIAN MOULTRIE



**04** **BRICK 4**  
TAN  
MANUFACTURER: BELDEN BRICK  
COMPANY  
COLOR: WINTER MIST



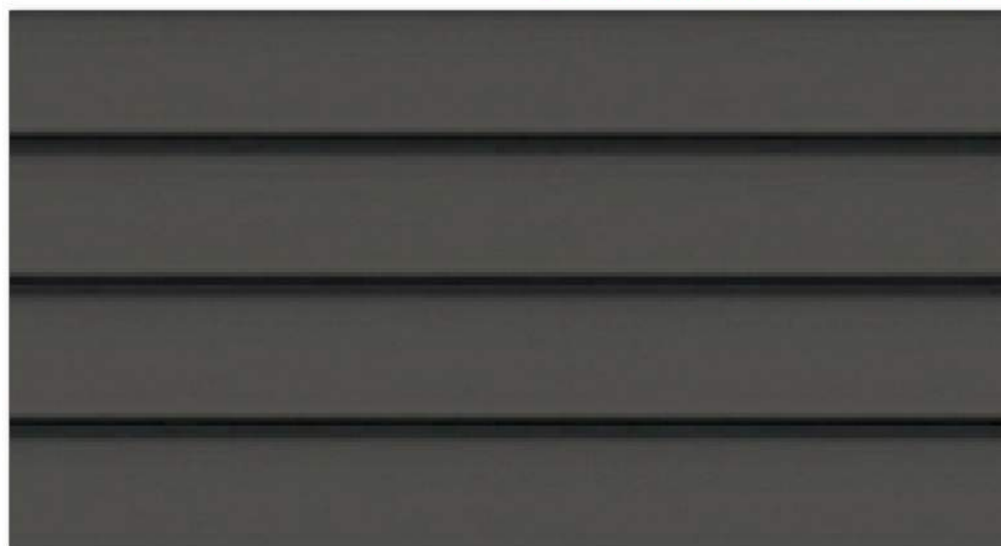
**05** **BRICK 5**  
BLACK IRONSPOT  
MANUFACTURER: TAYLOR CLAY  
PRODUCTS  
COLOR: BLACK ONYX



**06** **ROOF SHINGLES**  
BLACK  
MANUFACTURER: TIMBERLINE  
COLOR: OYSTER GRAY



**07** **SIDING**  
MEDIUM GRAY  
MANUFACTURER: JAMES HARDIE  
COLOR: PEARL GRAY



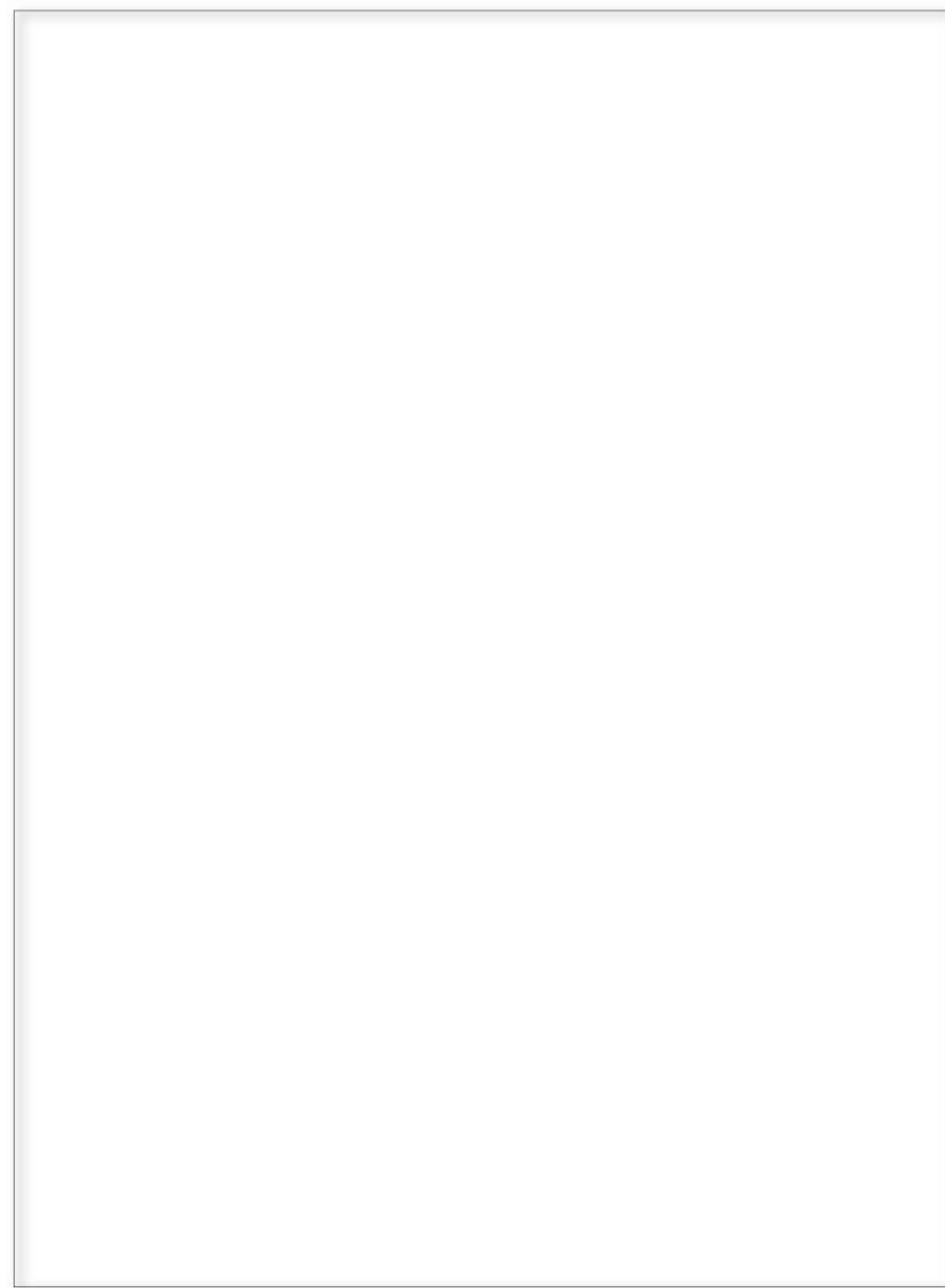
**08** **SIDING**  
DARK GREY  
MANUFACTURER: JAMES HARDIE  
COLOR: GRAY SLATE



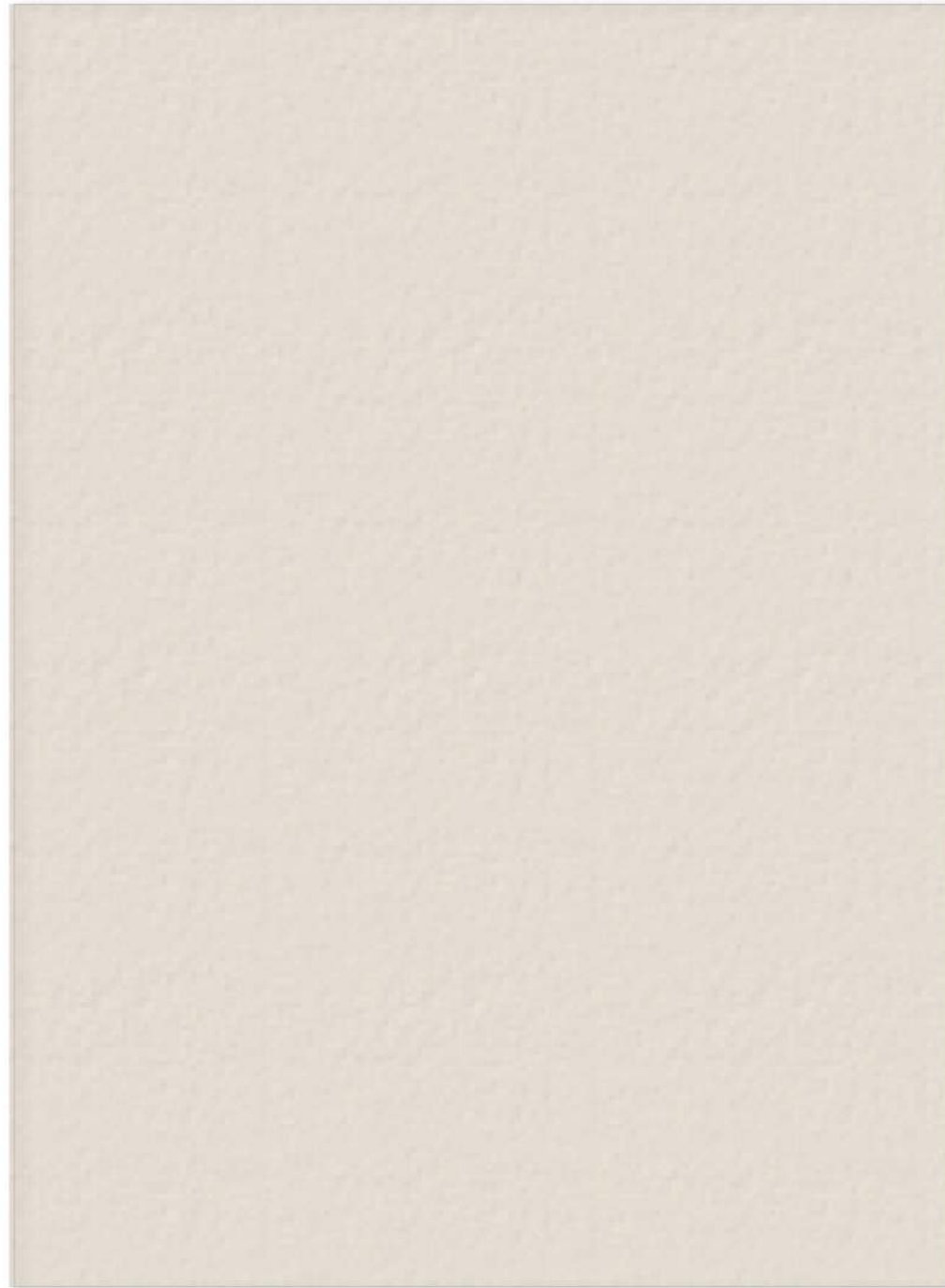
**09** **CEMENTITIOUS BOARD**  
DARK GRAY  
MANUFACTURER: JAMES HARDIE  
COLOR: IRON GRAY

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED  
WITH EQUIVALENT AND COMPATIBLE OPTIONS

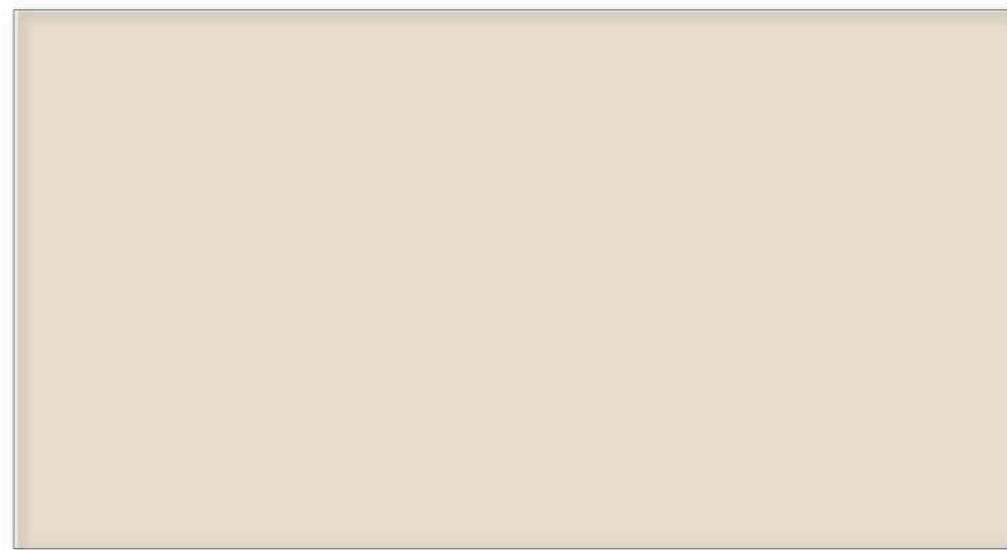




**10** **FIBER CEMENT TRIM**  
WHITE  
MANUFACTURER: JAMES HARDIE  
COLOR: ACRYLIC WHITE



**11** **ARCHITECTURAL STONE**  
BEIGE  
MANUFACTURER: ARRISCRAFT  
COLOR: LIMESTONE



**12** **METAL CORNICE**  
BEIGE  
MANUFACTURER: CENTRIA  
COLOR: 1760 LIMESTONE



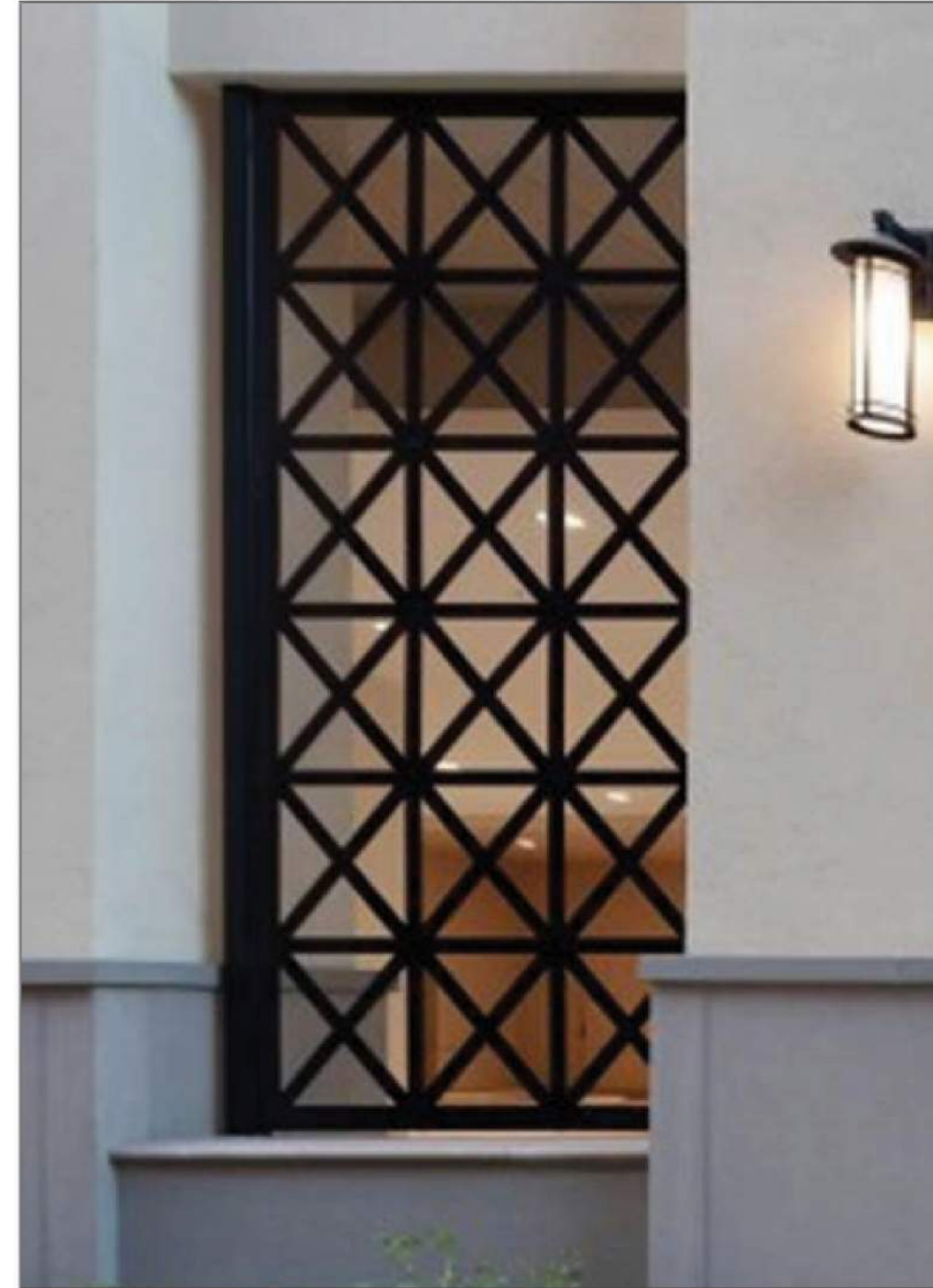
**13** **METAL CORNICE AND CANOPY**  
DARK GRAY  
MANUFACTURER: CENTRIA  
COLOR: GRAY VELVET



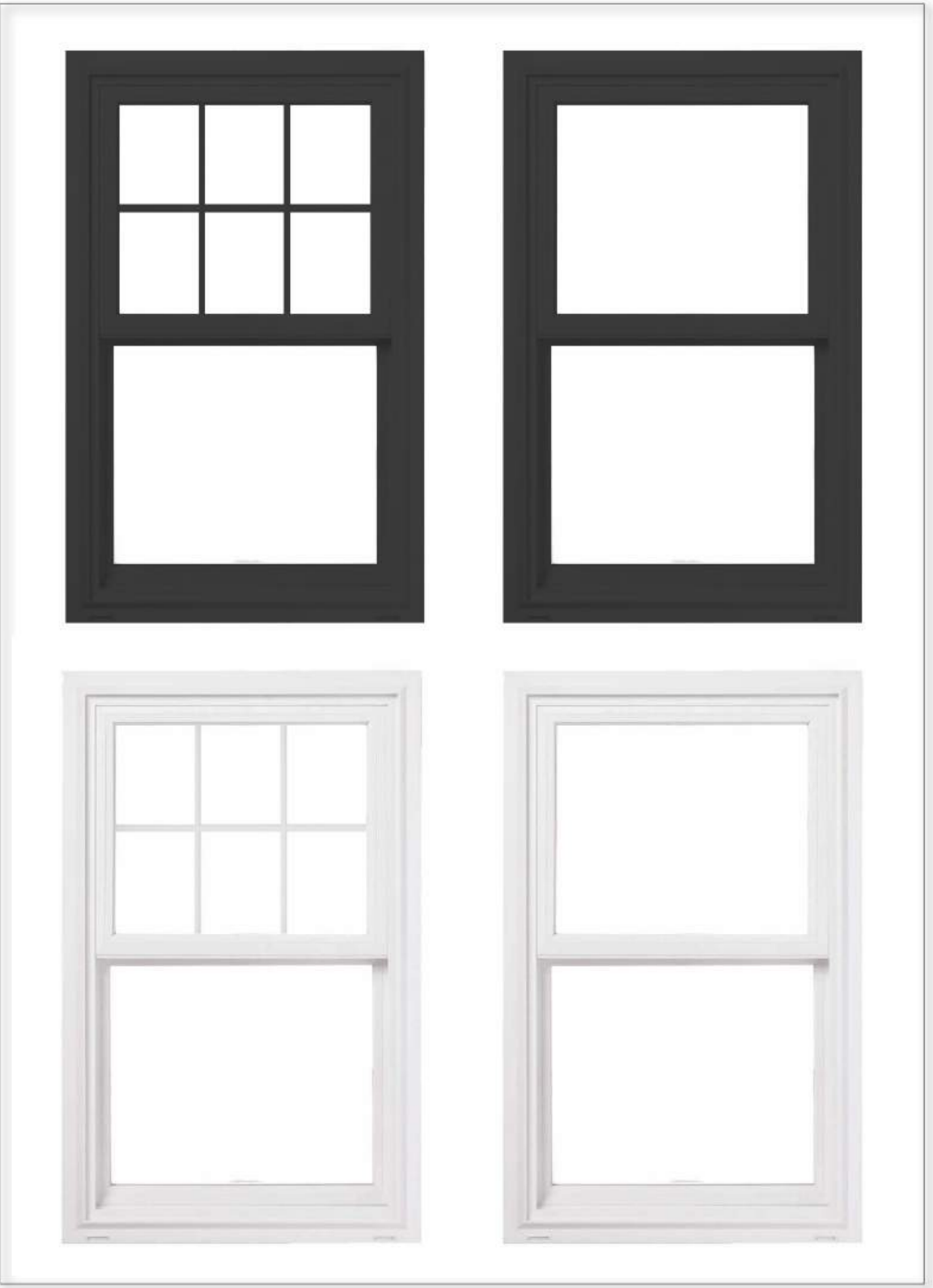
**14** **GARAGE & LOADING OVERHEAD DOOR**  
ALUMINUM PAINTED  
MANUFACTURER: CENTRIA  
COLOR: TO MATCH #13



**15** **METAL BALCONY**  
-DARK GRAY FASCIA  
-BLACK RAIL  
POWDERCOATED TO MATCH #13



**16** **DECORATIVE GRILLS**  
DARK GRAY  
POWDERCOATED TO MATCH #13



**17** **VINYL WINDOWS**  
-DARK GRAY/WHITE  
- DECORATIVE MUNTINS  
DEPENDING ON GROUPING AND  
AND ARCH. CHARACTER  
MANUFACTURER: MI  
COLOR: BLACK/WHITE

\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED  
WITH EQUIVALENT AND COMPATIBLE OPTIONS