



Board of Architectural Review

DATE: March 6, 2024
TO: Board of Architectural Review Chair and Members
THROUGH: Jason Sutphin, Community Development Division Chief *JDS*
FROM: Anna Kohlbrenner, BAR Liaison *AK*
SUBJECT: **Work Session: 10120 Fairfax Blvd – Taco Bell**

ATTACHMENTS: 1. Relevant Regulations
2. Current plan set

Nature of Request

1. Case Number:	BAR-24-00087
2. Address:	10120 Fairfax Blvd
3. Request:	Restaurant with drive-through
4. Applicant:	ABTB Mid-Atlantic LLC
5. Applicant's Representative:	Kathryn R. Taylor
6. Status of Representative:	Attorney
7. Zoning:	CR Commercial Retail, Architectural Control Overlay District

BACKGROUND

The subject property is located north of Fairfax Blvd, west of Patient First, and east of the ABC store. The applicant is proposing a 2,256 SF restaurant with a drive-through located at the Boulevard Marketplace Shopping Center. The applicant is proposing an amendment to a general development plan that was approved in conjunction with a rezoning in 2008. In the past, the current site location was approved for a drive-through bank in 2008 and a retail building in 2017, in which neither have been built at this time as the property remains vacant. The applicant proposes an amendment to the Zoning and General Development Plan and a Special Use Permit for a restaurant with drive-through. There was a pre-application meeting with the Planning Commission and City Council in early 2023. Comments included traffic/stacking concerns. Work sessions have not been scheduled at this time with the Planning Commission or the City Council.

PROPOSAL

The applicant is proposing a 2,256 SF restaurant with a drive-through lane with 13 stacking spaces, parking spaces, and an outdoor seating area. There is an existing walking path to the west of the site that would remain. Cars would enter the site along Fairfax Blvd then have the option to enter the drive-

through or park their car and walk into the proposed Taco Bell. The proposed building would be 28' wide and 42' in depth. The proposed brick would match brick located around the shopping center and would be in colors *burn almond*, *red cliff*, and *royal salisbury*. Downspouts and cornice trim would be in color *worldly gray* semi-gloss. Hardie trim, Hardie paneling, and metal parapet cap would be in color *cyberspace* semi-gloss. The applicant is proposing black metal canopies, purple Hardie panels, patio furniture, railing, and exterior artwork panels.

The applicant is working with the city's urban forester on the proposed landscaping. The BAR does not review outdoor dining furniture anymore, but does review railings, and other permanent structures associated. Rooftop mechanical would be fully hidden from view according to the applicants plan set.

RELEVANT DESIGN GUIDELINES

City of Fairfax Design Guidelines:

The following excerpts from the Design Guidelines are relevant to this application.

New Construction, ACOD-3

Building Sitting, ACOD-3.2

Construct new buildings in the ACOD with setbacks to reinforce the street wall depending on the zoning classification and the use(s) of the building. If the new building contains retail uses that need limited parking in front of the building, consider facing the parking to the street and use lower plantings to partially screen vehicles. Taller plantings also can serve as screening and aid in creating a stronger street wall where there are spaces between buildings or sites.

The rest of the site has already been developed, as parking is located in front of the proposed restaurant along Fairfax Blvd. The existing parking would remain.

Building Orientation, ACOD-3.3

Buildings should be sited so that their main entrances are facing the street on which they are located.

The main entrance faces Fairfax Blvd showing signage, a door, and outdoor dining area.

Building Form & Articulation, ACOD-3.4

Use forms in new construction that relate to those of existing neighboring buildings on the street that are of quality design. Most have simple rectangular forms that may be horizontal or vertical depending on the number of stories of the building.

Surrounding buildings are rectangular in nature.

Building Scale, ACOD-3.5

Reinforce the human scale of new design in ACOD by including different materials, textures, or colors within a large building and/ or by dividing large facades and other elevations into different bays with different heights and planes. Use other techniques such as varying rooflines and window patterns, articulating entrances, and adding cornices and string and belt courses to separate floor levels, and using other decorative features. Corner articulation, balconies, canopies, marquees, and awnings can all also help create a human scale.

The applicant is proposing different materials and textures throughout the building to break up the façade. The massing of the building along Fairfax Blvd is under 30' wide, but the applicant still breaks up the façade to show different heights and dimensions. The main architectural corner is higher than the rest of the building. Human scale is introduced by the implementation of an outdoor dining area.

Roof Form & Materials, ACOD-3.6

The roof design of small infill commercial buildings should be sloped behind a parapet wall; or it may be a gable or hipped roof design.

The roofline matches the surrounding shopping center and mechanical would be hidden from view. The cornice appears slightly out of proportion.

Materials & Textures, ACOD-3.9

The selection of materials and textures for a new building in the ACOD may include brick, stone, cast stone, wood or cementitious siding, metal, glass panels, or other materials as deemed appropriate by Staff and the BAR. In general, the use of stucco-like products such as EIFS should be limited and is most appropriate on higher elevations, not in the pedestrian realm. Larger-scale buildings whose primary facades have been divided into different bays, planes, and heights to reduce their visual impact also may vary materials and textures as well. Use quality materials

consistently on all publicly visible sides of buildings in the district. These materials should be long lasting, durable, maintainable, and appropriate for environmental conditions. Avoid the use of aluminum or vinyl siding and plain concrete masonry units as exterior materials or painted metal siding. EIFS (artificial stucco) may be appropriate if used in small proportions above pedestrian level. Avoid the use of tinted, opaque, or mirrored glass for windows and doors in the district.

The applicant is proposing high quality materials including three different colors of brick that directly matches the shopping complex. The applicant is not proposing any EIFs.

Building-Mounted Lighting, ACOD-3.12

Lighting for new structures should be designed to be an integral part of the overall design by relating to the style, material, and/ or color of the building. Fixtures should utilize an incandescent, LED, fluorescent, metal halide, or color corrected high-pressure sodium lighting sources. Avoid overly bright or colored lights. Fixtures should be the full cutoff variety to limit the impact of lighting on neighboring properties. A combination of free-standing and wall-mounted fixtures is recommended to yield varied levels of lighting and to meet the intent of the zoning regulations.

The applicant is proposing exterior wall sconces that are the same color and look as others in the complex. The proposed wall sconces would be downlight fixtures.

Appurtenances, ACOD-3.13

Mechanical equipment on roofs or sides of buildings should not be visible from streets. It should be screened from public view on all sides if otherwise visible. The screening should be consistent with the design, textures, materials, and colors of the building. Another method is to place the equipment in a nonvisible location behind a parapet.

Roof-top mechanical would be fully screened by the roofline and would not be visible from the ROW in any direction.

Awnings & Canopies, ACOD-5

Materials & Color, ACOD-5.3

Coordinate color scheme of awnings and canopies with the overall building color scheme.

Proposed canopies appear low-profile in nature and would be metal in color black.

Private Site Design & Elements, ACOD-6

Parking, ACOD-6.2

Hide or screen parking from view of the public right-of-way by locating it within the building mass.

Parking along Fairfax Blvd is already existing and landscaping is located in front of it.

Landscaping, ACOD-6.3

Use landscape edges such as a row of street trees. Where trees cannot be installed due to utility or other restrictions, use a shrub layer or herbaceous planting to create a unifying edge or seam between adjacent developments and their face on the public right-of-way. Create well-defined outdoor spaces, delineate pathways and entries, and create a sense of continuity from one site to the next.

The applicant is working with our urban forester and has provided a planting plan for review.

ATTACHMENT 1

RELEVANT REGULATIONS

§6.5.1. Applicability

Certificates of appropriateness shall be reviewed in accordance with the provisions of §6.5.

A. A certificate of appropriateness shall be required:

1. To any material change in the appearance of a building, structure, or site visible from public places (rights-of-way, plazas, squares, parks, government sites, and similar) and located in a historic overlay district (§3.7.2), the Old Town Fairfax Transition Overlay District (§3.7.3), or in the Architectural Control Overlay District (§3.7.4). For purposes of §6.5, “material change in appearance” shall include construction; reconstruction; exterior alteration, including changing the color of a structure or substantial portion thereof; demolition or relocation that affects the appearance of a building, structure or site;

§6.5.3. Certificate of appropriateness types

A. Major certificates of appropriateness

1. Approval authority

(a) General

Except as specified in §6.5.3.B.2(b), below, the board of architectural review shall have authority to approve major certificates of appropriateness.

(b) Alternative (in conjunction with other reviews)

Alternatively, and in conjunction with special use reviews, planned development reviews, special exceptions or map amendments (rezoning), the city council may approve major certificates of appropriateness.

§6.5.6. Action by decision-making body

A. General (involving other review by city council)

After receiving the director’s report on proposed certificates of appropriateness, which do not involve other reviews described below, the board of architectural review (BAR) shall review the proposed certificates of appropriateness in accordance with the approval criteria of §6.5.7. The BAR may request modifications of applications in order that the proposal may better comply with the approval criteria. Following such review, the BAR may approve, approve with modifications or conditions, or disapprove the certificate of appropriateness application, or it may table or defer the application.

B. Other reviews

1. Prior to taking action on special use reviews, planned development reviews, and map amendments (rezoning), the city council shall refer proposed certificates of appropriateness to the BAR for review in accordance with the approval criteria of §6.5.7.
2. In conjunction with special use reviews, planned development reviews, special exceptions and map amendments (rezoning), the city council may review the proposed certificate of appropriateness in accordance with the approval criteria of §6.5.7. The city council may request

modifications of applications in order that the proposal may better comply with the approval criteria. Following such review, the city council may approve, approve with modifications or conditions, or disapprove the certificate of appropriateness application, or it may table or defer the application.

§6.5.7. Approval criteria

A. General

1. Certificate of appropriateness applications shall be reviewed for consistency with the applicable provisions of this chapter, any adopted design guidelines, and the community appearance plan.
2. Approved certificates of appropriateness shall exhibit a combination of architectural elements including design, line, mass, dimension, color, material, texture, lighting, landscaping, roof line and height conform to accepted architectural principles and exhibit external characteristics of demonstrated architectural and aesthetic durability.

§6.5.9. Action following approval

- A. Approval of any certificate of appropriateness shall be evidenced by issuance of a certificate of appropriateness, including any conditions, signed by the director or the chairman of the board of architectural review. The director shall keep a record of decisions rendered.
- B. The applicant shall be issued the original of the certificate, and a copy shall be maintained on file in the director's office.

§6.5.10. Period of validity

A certificate of appropriateness shall become null and void if no significant improvement or alteration is made in accordance with the approved application within 18 months from the date of approval. On written request from an applicant, the director may grant a single extension for a period of up to six months if, based upon submissions from the applicant, the director finds that conditions on the site and in the area of the proposed project are essentially the same as when approval originally was granted.

§6.5.11. Time lapse between similar applications

- A. The director will not accept, hear or consider substantially the same application for a proposed certificate of appropriateness within a period of 12 months from the date a similar application was denied, except as provided in §6.5.11.B, below.
- B. Upon disapproval of an application, the director and/or board of architectural review may make recommendations pertaining to design, texture, material, color, line, mass, dimensions or lighting. The director and/or board of architectural review may again consider a disapproved application if within 90 days of the decision to disapprove the applicant has amended his application in substantial accordance with such recommendations.

§6.5.12. Transfer of certificates of appropriateness

Approved certificates of appropriateness, and any attached conditions, run with the land and are not affected by changes in tenancy or ownership.

§6.5.13. Appeals

A. Appeals to city council

Final decisions on certificates of appropriateness made may be appealed to city council within 30 days of the decision in accordance with §6.22.

B. Appeals to court

Final decisions of the city council on certificates of appropriateness may be appealed within 30 days of the decision in accordance with §6.23.

ABTB Mid-Atlantic, LLC

STATEMENT OF INTENT

January 18, 2024

Please accept the following as a Statement of Intent in support of the submitted Major Certificate of Appropriateness application to allow for the development of 10120 Fairfax Boulevard with an approximately 2,256 square foot restaurant with a drive-through window/facility. This Statement of Intent is submitted in conjunction with the Certificate of Appropriateness design package, consisting of thirty-one (31) sheets, and other submitted supporting materials. The contents of this Statement of Intent address the approval considerations for certificates of appropriateness, as set forth in Section 6.5.7.A of the City of Fairfax Zoning Ordinance (the “Zoning Ordinance”).

ABTB Mid-Atlantic, LLC (the “Applicant”) is the contract lessee of an approximately 0.66 acre property located in the City of Fairfax. The property consists of one (1) tax parcel identified among the City of Fairfax’s tax assessment records as 47-4-23-000-D (the “Subject Property”). The Subject Property is currently a vacant pad site that is part of the Boulevard Marketplace Shopping Center (the “Shopping Center”). Zoned to the CR (Commercial Retail) District, the Subject Property is included in a Generalized Development Plan (“GDP”) that was approved in conjunction with a rezoning in 2008, allowing a total of 17,300 square feet of commercial space, including a 4,300 square foot bank building with drive-through on the Subject Property. In 2011, the Shopping Center was subdivided into two separate parcels, including the Subject Property and the adjacent parcel identified as 47-4-23-000-A (“Parcel A”). In 2017, City Council approved a GDP amendment, which converted the previously approved drive-through bank on the Subject Property to an approximately 5,100 square foot retail building. To date, the approved retail building has not been constructed, and the Subject Property remains vacant.

PROPOSED DEVELOPMENT

The Applicant proposes to redevelop the Subject Property with a drive-through Taco Bell restaurant. No modifications or improvements are proposed to Parcel A nor its existing buildings. The proposed drive-through restaurant is a commercial use that is consistent with the recommendations of the Comprehensive Plan and compatible with the commercial character of the surrounding area. The proposed restaurant will consist of an approximately 2,256 square-foot, one story building with a proposed parking area oriented towards the rear of the Subject Property. The proposed drive-through lane will wrap around the new building and proposed parking area. In addition, bicycle parking and a small outdoor dining patio area will be provided proximate to the restaurant’s main entrance. As shown on the submitted materials, the proposed restaurant building will be architecturally compatible with the adjacent buildings in the Shopping Center and will be constructed of high-quality materials.

CITY OF FAIRFAX DESIGN GUIDELINES

As illustrated in the submitted materials, the overall design of the proposed development is consistent with the City of Fairfax Design Guidelines. The proposed development is characterized by the installation of attractive architecture, the provision of quality landscaping, and a reduction of impervious surface. To ensure compatibility with the existing design of the Shopping Center, the proposed restaurant will include the use of masonry and cornice details that are consistent with the materials of the two existing buildings on Parcel A. Building materials may include, but are not limited to brick, Hardie cement board panels, E.I.F.S, and other quality materials. The proposed restaurant building will be a maximum height of twenty-five (25) feet. As such, the mass, scale, height, and architectural style of the proposed building will be compatible and proportionate to the remainder of the Shopping Center.

Quality landscaping is also proposed, including a mix of shade, ornamental, and evergreen trees in combination with evergreen and deciduous shrubs as well as ground cover, perennials, and ornamental grasses along the perimeter of the parking lot and the drive-through lane. The proposed landscaping will provide more vegetation on-site compatible to what is provided on the parcels adjacent to the Subject Property. In addition to the proposed landscaping, the Applicant is proposing to retain all of the existing street trees and other landscaping along Fairfax Boulevard. In the end, the proposed development will result in increased open space and an overall decrease of impervious surface.

The proposed site lighting is shown on Sheets 7 and 8 of the design package. All proposed site lighting will comply with Zoning Ordinance requirements. Lighting surrounding the building will consist of LED lighting on 25'-0" bronze posts and LED fixtures, consistent with the Zoning Ordinance. All light fixtures will be located and aimed to minimize glare and stray light trespassing across lot lines and into the public right-of-way. All of the existing street lights along Fairfax Boulevard will remain. Overall, the Applicant's lighting plan will illuminate the proposed parking lot and pedestrian pathways to provide safe vehicular and pedestrian circulation as well as minimize pedestrian/vehicular conflicts.

As to additional appurtenances associated with the proposed development, the Applicant has included an enclosed dumpster that will be located in the northern area of the proposed parking lot on the Subject Property. The proposed dumpsters will be screened by a combination of evergreen trees, evergreen shrubs, and a shade tree surrounding a brick enclosure with painted solid metal gates to match the building in order to minimize visual impact. Additionally, bicycle parking is proposed in accordance with the Zoning Ordinance requirements. Lastly, any rooftop mechanical equipment installed on the roof of the proposed restaurant building will be screened.

The proposed improvements will encourage and foster enhanced pedestrian connectivity within the site as well as with the surrounding community. To accommodate adequate pedestrian circulation, the Applicant will incorporate a 6-foot wide sidewalk between the proposed building and parking areas. In addition, the Applicant proposes to maintain an existing 8-foot wide trail along the western property line that connects to the George Snyder Trail to the north of the site. A 3.5-wide landscape strip is proposed between the drive-through lane and the 8-foot wide trail as shown on the submitted materials of the design package to provide an additional vegetated buffer

between pedestrians and vehicles in the drive-through lane. These new sidewalks and connections will contribute to the enhancement of the pedestrian experience along this stretch of the Fairfax Boulevard corridor.

In conclusion, the Applicant's proposal presents an opportunity to redevelop and activate an underutilized parcel with a vibrant, high-quality community-serving use that advances the Comprehensive Plan's objectives of enhancing commercial activities along the Fairfax Boulevard commercial corridor. The proposed site design consists of high-quality architecture, landscaping, and pedestrian improvements that are consistent with the City's Design Guidelines and will enhance the quality of one of the City's primary commercial corridors. The Applicant is eager to bring the first Taco Bell to the City and is committed to ensuring that the proposed development fits into the fabric of Fairfax.

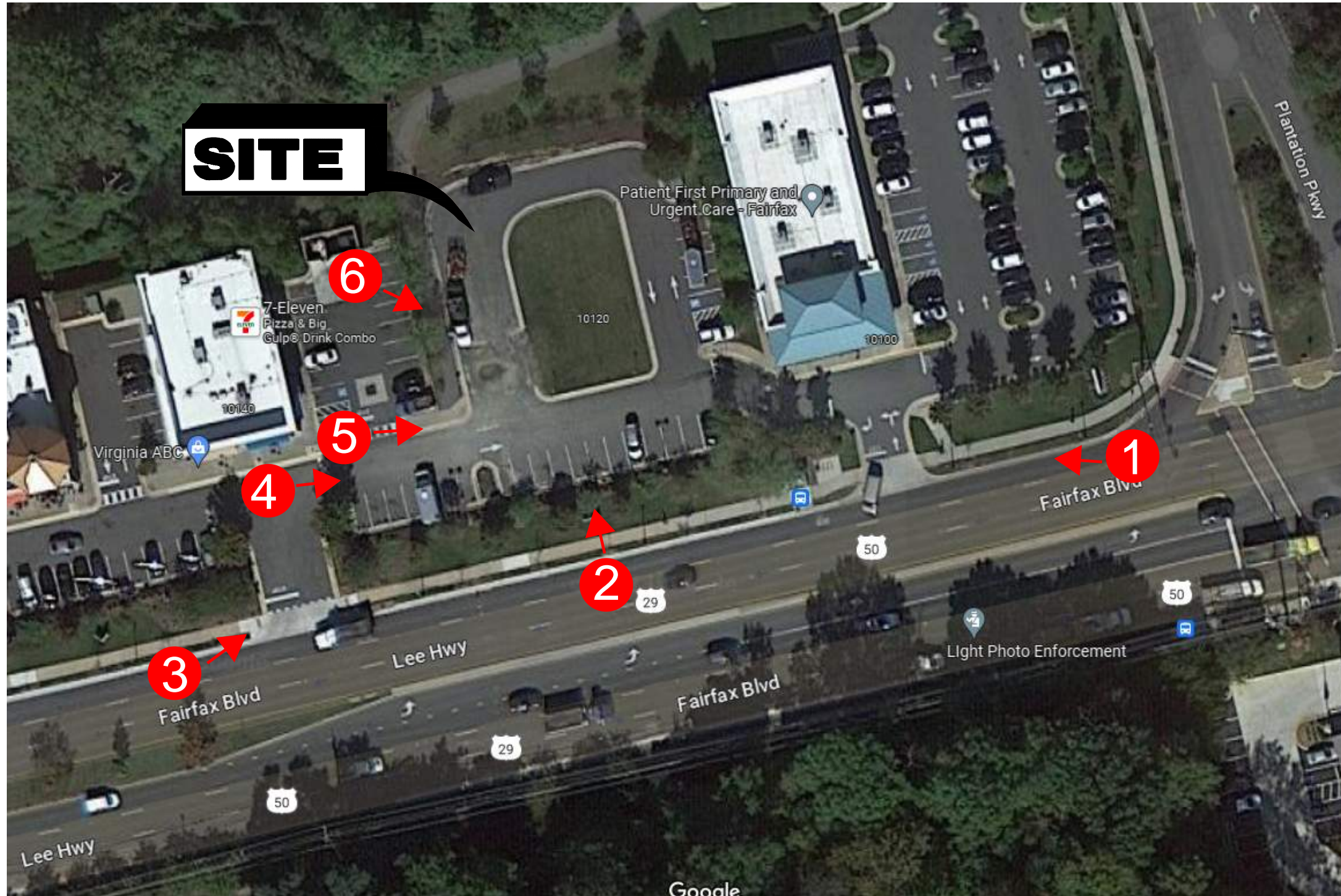


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10120 Fairfax Boulevard

Board of Architectural Review Certificate of Appropriateness



EXISTING CONDITIONS AERIAL



1 Fairfax Blvd: Existing East Entrance



2 Fairfax Blvd: Front of Site



3 Fairfax Blvd: Existing West Entrance



4 7-Eleven Parking Lot: West



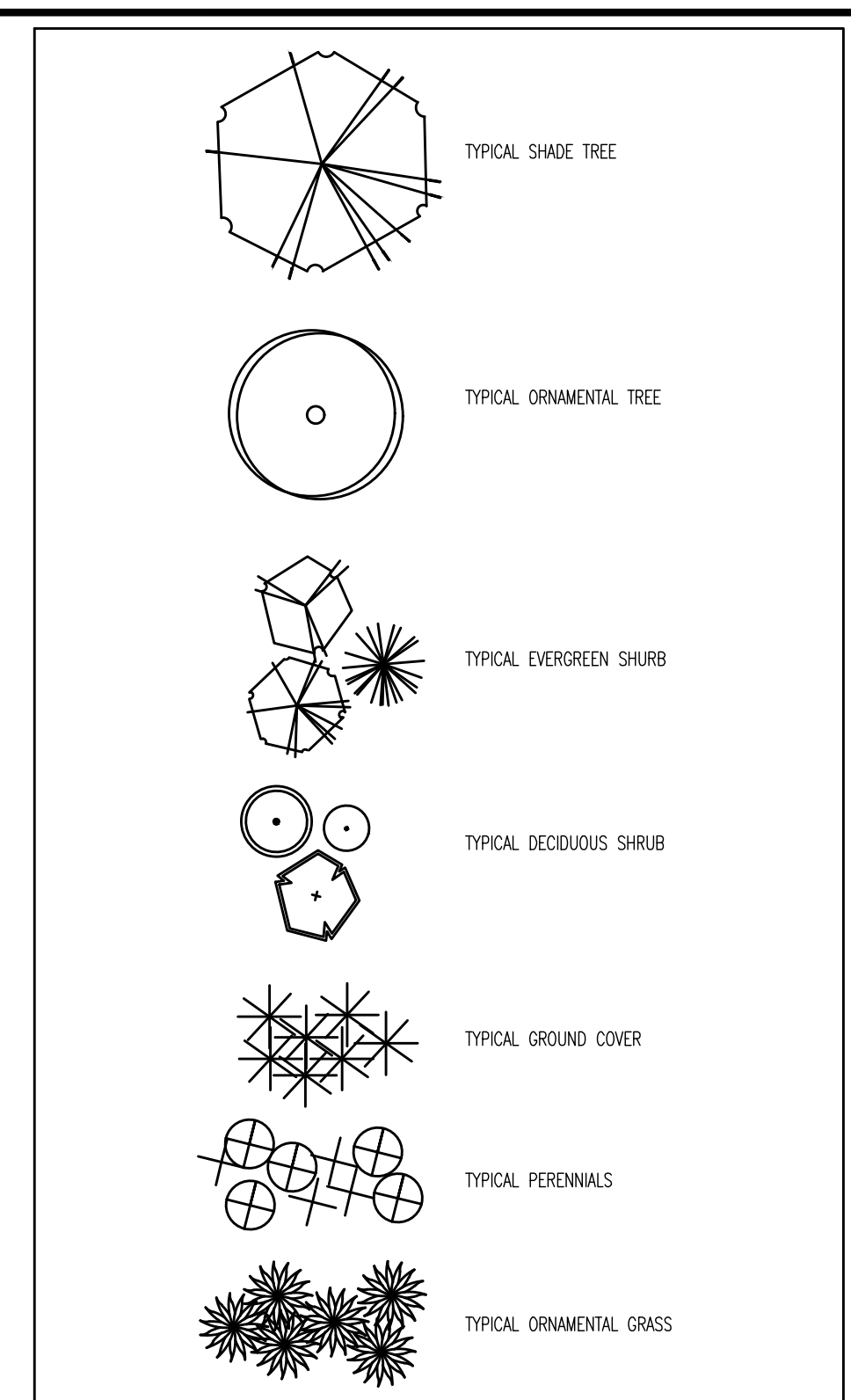
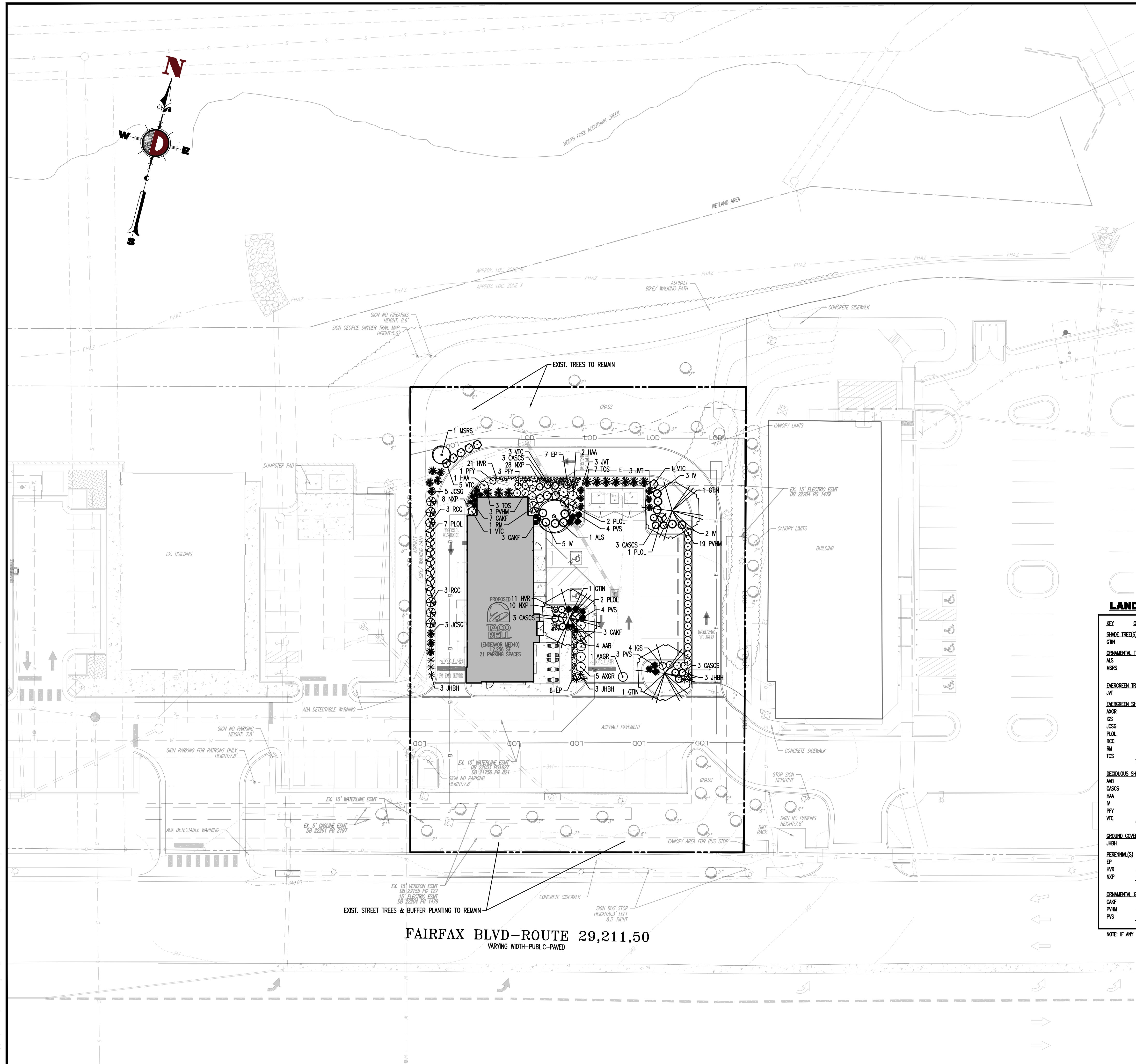
5 7-Eleven Parking Lot: West



6 7-Eleven Parking Lot: West

EXISTING CONDITIONS PHOTO EXHIBIT

Plotted: 12/22/23 - 1:18 PM, By: ebel
 File: \\deepa\local\defenders\Data\DEFC PROJECTS\3486 ABE0 Capital\22-01538 Fairfax VA\DW\Special Exception Plans\03486210133810.dwg, ----> 05 CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS



SITE TREE COVERAGE REQUIREMENTS

TREE CANOPY CALCULATIONS
 TOTAL SITE AREA = 28,921 SF
 - TREE CANOPY REQUIRED (10%) = 2,892 SF
 - TREE CANOPY PROVIDED = 5,425 SF (18.8%)

- (A) PROPOSED THREE (3) SHADE TREES @ 250 SF OF EACH = 750 SF
- (B) EXISTING SEVEN (7) SHADE TREES @ 250 SF OF EACH = 1,750 SF
- (A) PROPOSED TWO (2) ORNAMENTAL TREES @ 125 SF OF EACH = 250 SF
- (B) EXISTING FIFTEEN (15) ORNAMENTAL TREES @ 125 SF OF EACH = 1,875 SF

STREET TREES

BOUNDARY	LENGTH	REQUIRED TREES	PROVIDED TREES
FAIRFAX BOULEVARD	143.8 LF	4 TREES	5 TREES

NOTE: 5 PROPOSED TREES AND 22 EXISTING TREES INCLUDED IN THE CALCULATIONS

INTERIOR PARKING LOT

NUMBER OF PROVIDED SPACES	21 SPACES
REQUIRED TREES	3 (21/10 = 2.1)
PROVIDED TREES	3

LANDSCAPE SCHEDULE

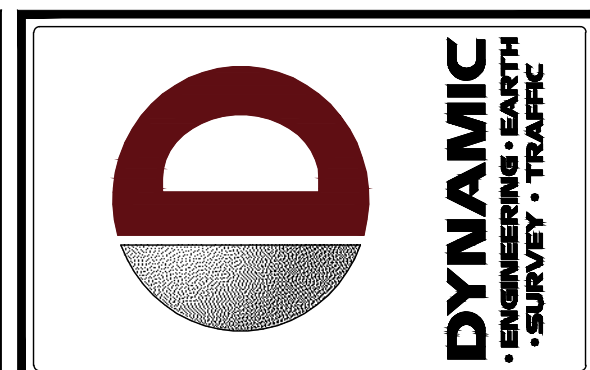
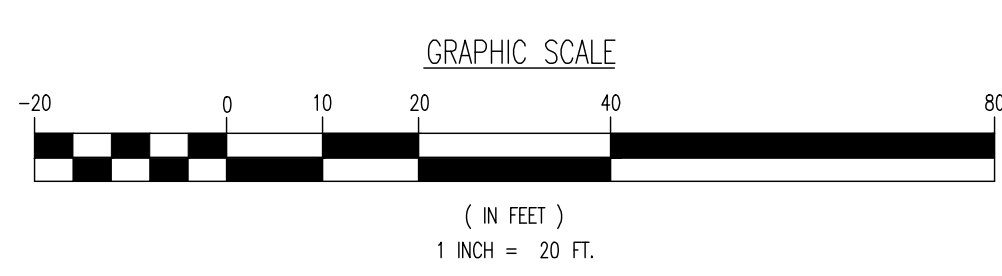
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
GTN	3	GLEDITSIA TRICANTHOS 'INERMIS' 'SUNCOLE'	SUNBURST THORNLESS HONEYLOCUST	2 1/2-3' CAL.	B#B
ORNAMENTAL TREE(S)					
ALS	1	AMELANCHIER LAEVIS 'SNOWCLOUD'	SNOWCLOUD SERVICEBERRY	8-10'	B#B
MSRS	1	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	5-6'	B#B
EVERGREEN TREE(S)					
JVT	6	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	5-6'	B#B
EVERGREEN SHRUB(S)					
AXGR	6	ABELIA X GRANDIFLORA 'RADIANCE'	RADIANCE ABELIA	24-30"	#3 CAN
IGS	4	ILEX GLABRA 'SHAMROCK'	SHAMROCK HEDGEHERRY HOLLY	24-30"	#3 CAN
JCSG	8	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24-30" SPRD.	B#B
PLOL	12	PRUNUS LAUROCENSIS 'OTTO LUXEM'	OTTO LUXEM CHERRYLAUREL	24-30"	#3 CAN
RCC	6	RHODODENDRON CATAMBRENSIS 'RHODONIDES'	RHODONIDES RHODODENDRON	24-30"	B#B
RM	1	RHODODENDRON MAXIMUM 'ROSEMARY'	ROSEMARY RHODODENDRON	30-36"	#5 CAN
TOS	10	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	5-6'	B#B
DECIDUOUS SHRUB(S)					
AAB	4	ARONIA MELANOCORPA 'LUCONNAMIES'	LOW SCAPE MOUND CHOKEBERRY	18-24"	#3 CAN
CASCS	12	CLETHRA ALNIFOLIA 'SWEETEN CHAIRS'	SIXTEEN CHAIRS SUMMERSWEET	24-30"	#3 CAN
HWA	3	HYDRANGEA HYDRANGEIS 'ANNHELLE'	'ANNHELLE' HYDRANGEA	24-30"	#3 CAN
N	10	ITEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPIRE	30-36"	#5 CAN
PFY	4	POTENTILLA FRUTICOSA 'HAPPY FACE YELLOW'	HAPPY FACE YELLOW POTENTILLA	18-24"	#3 CAN
VTC	10	VEURBURNI TRILOBUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRYBUSH	24-30"	#3 CAN
GROUND COVER					
JHBH	9	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	#3 CAN
PERENNIAL(S)					
EP	13	ECHINACEA PURPUREA	PURPLE CONEFLOWER	2 GAL.	CONTAINER
HVR	32	HEMEROCALLIS VARIETES	PEACH-RED-YELLOW DAYLILY	1 GAL.	CONTAINER
NXP	46	NEPETA X 'PSYCHE'	LITTLE TRUPLY CATMINT	1 GAL.	#1
ORNAMENTAL GRASS(S)					
CAKF	15	CAJAMACROSTIS ARUNDINACEA 'HARL FROESTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
PVIM	22	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	2 GAL.	CONTAINER
PVS	11	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL OBTAIN.

NOTE 1: DETAILED LANDSCAPING PLANTINGS, HARDSCAPE DESIGN, AND LIGHTING INFORMATION WILL BE PROVIDED AT TIME OF SITE PLAN.

NOTE 2: DUMPSTER ENCLOSURE SHOULD BE CONSTRUCTED OF CONCRETE BLOCK W/ DUR-O-WALL FINISH AND INCLUDES AN EVERGREEN BUFFER AROUND THE EXTERIOR.

NOTE 3: PER ZONING ORDINANCE SECTION 4.5.5.C.1 NO TRANSFER YARDS ARE REQUIRED TO ADJACENT CR AND/ OR I DISTRICT LOTS.



REV.	DATE	COMMENTS
1	12/22/23	PER LANDLORD COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: SRM
 CHECKED BY: JJJ
 CM
 CREATED BY: CM

PROJECT: **SOUTHPIK**
 PROPOSED TACO BELL FAST FOOD RESTAURANT W/ DRIVE-THRU
 BOULEVARD MARKETPLACE, PARCEL D
 10120 FAIRFAX BOULEVARD
 CITY OF FAIRFAX, FAIRFAX COUNTY, VIRGINIA

811 PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PERFORMING TO DIGGING THE EARTH'S SURFACE ANYWHERE IN ANY STATE
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

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CONCEPTUAL LANDSCAPE ARCHITECT
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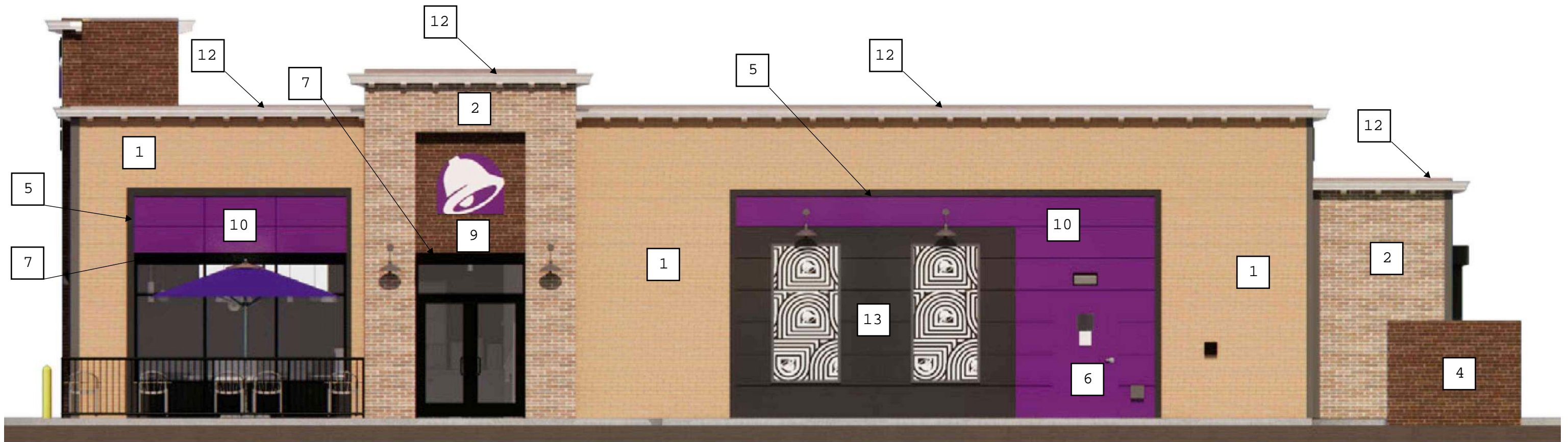
TITLE: **CONCEPTUAL LANDSCAPE PLAN AND TABULATIONS**

SCALE: (H) AS NOTED DATE: 07/12/2023
 PROJECT No: 3486-22-01538
 SHEET No: **5** Rev. #: 1
 OF 12



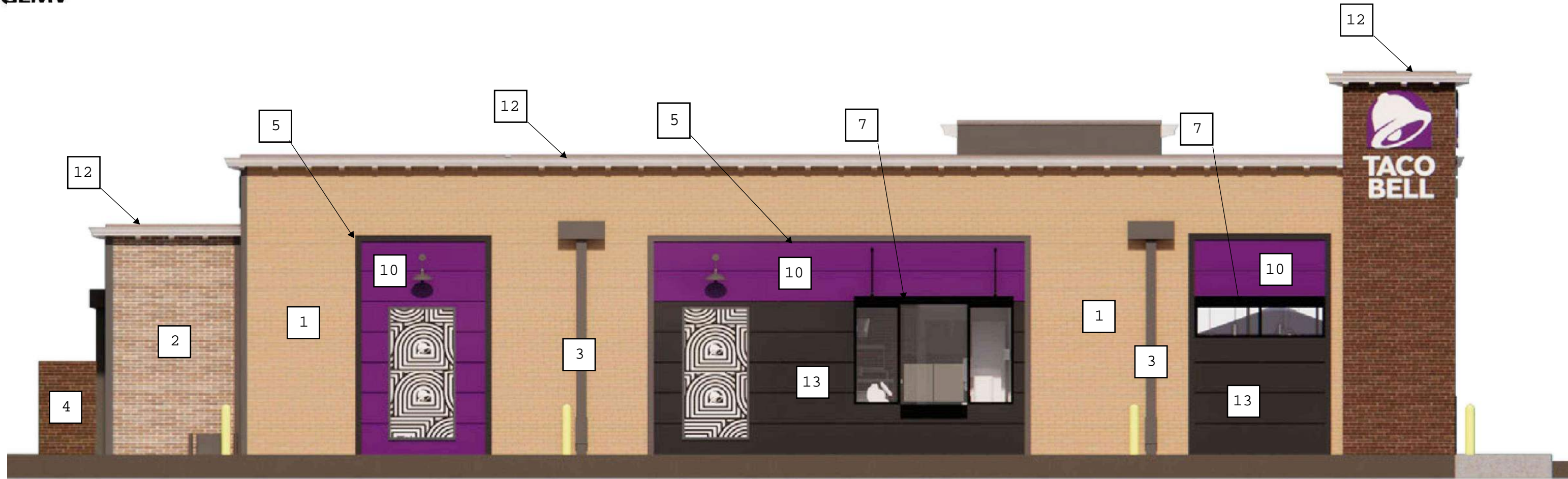
SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC.	COLOR
1	FIELD BRICK	GLEN GERY	BRICK	BURN ALMOND
2	ACCENT BRICK	GLEN GERY	BRICK	RED CLIFF
3	DOWNSPOUTS	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
4	ACCENT BRICK	TAYLOR	BRICK	ROYAL SALISBURY
5	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" x 5 1/2"	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS
6	HOLLOW METAL DOOR	-	-	SW PURPLE TB2603C, SEMI-GLOSS
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR
8	CORNER TOWER	TAYLOR	BRICK	ROYAL SALISBURY
9	RECESS OF SIDE ENTRY PORTAL	TAYLOR	BRICK	ROYAL SALISBURY
10	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SW PURPLE TB2603C, SEMI-GLOSS
11	METAL PARAPET CAP	-	24GA GALVANIZED	SHERWIN WILLIAMS SW7076 "CYBERSPACE" KYNAR 500 COATING
12	CORNICE TRIM	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
13	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS

SOUTH ELEVATION



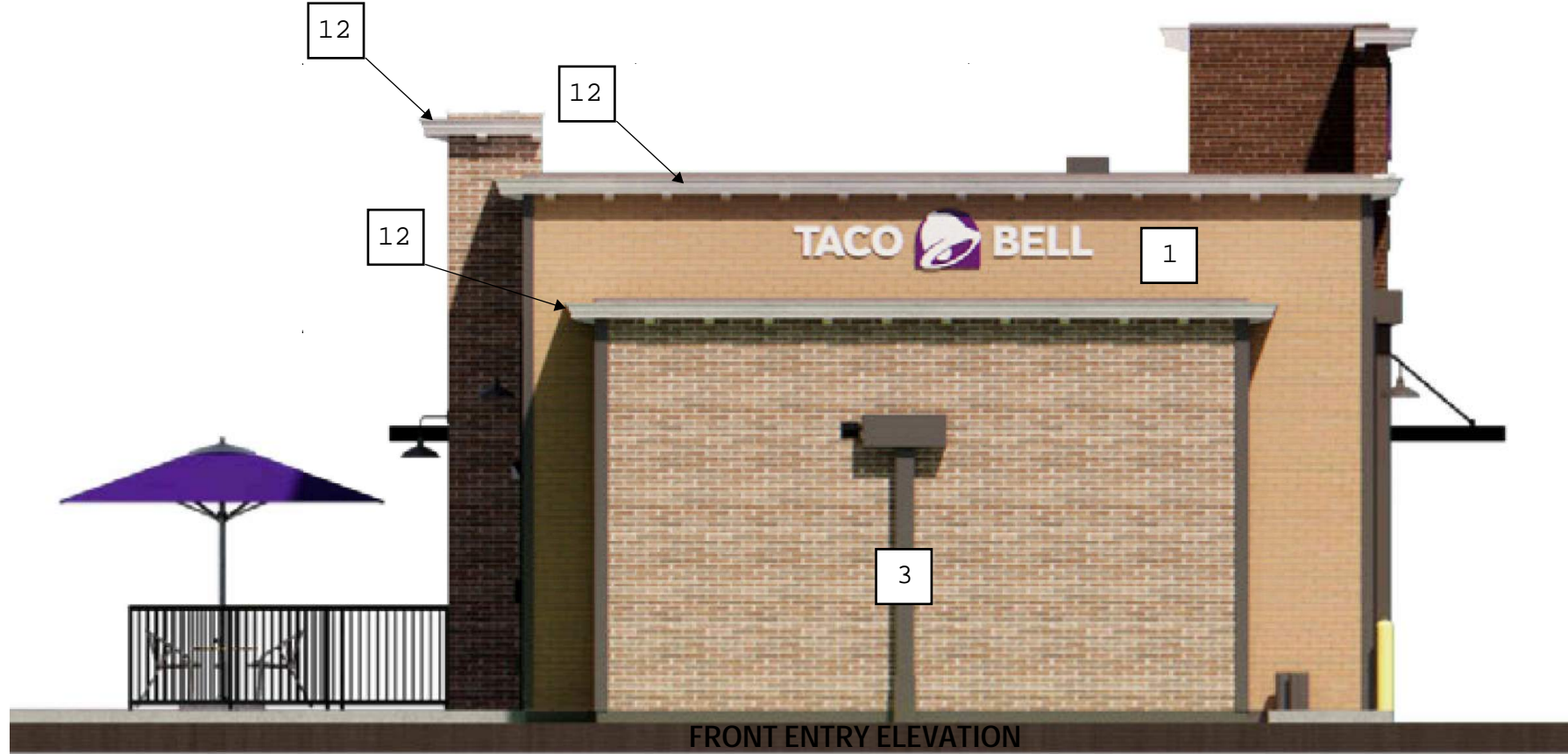
SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC.	COLOR
1	FIELD BRICK	GLEN GERY	BRICK	BURN ALMOND
2	ACCENT BRICK	GLEN GERY	BRICK	RED CLIFF
3	DOWNSPOUTS	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
4	ACCENT BRICK	TAYLOR	BRICK	ROYAL SALISBURY
5	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" x 5 1/2"	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS
6	HOLLOW METAL DOOR	-	-	SW PURPLE TB2603C, SEMI-GLOSS
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR
8	CORNER TOWER	TAYLOR	BRICK	ROYAL SALISBURY
9	RECESS OF SIDE ENTRY PORTAL	TAYLOR	BRICK	ROYAL SALISBURY
10	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SW PURPLE TB2603C, SEMI-GLOSS
11	METAL PARAPET CAP	-	24GA GALVANIZED	SHERWIN WILLIAMS SW7076 "CYBERSPACE" KYNAR 500 COATING
12	CORNICE TRIM	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
13	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS

EAST ELEVATION



SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC.	COLOR
1	FIELD BRICK	GLEN GERY	BRICK	BURN ALMOND
2	ACCENT BRICK	GLEN GERY	BRICK	RED CLIFF
3	DOWNSPOUTS	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
4	ACCENT BRICK	TAYLOR	BRICK	ROYAL SALISBURY
5	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" x 5 1/2"	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS
6	HOLLOW METAL DOOR	-	-	SW PURPLE TB2603C, SEMI-GLOSS
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR
8	CORNER TOWER	TAYLOR	BRICK	ROYAL SALISBURY
9	RECESS OF SIDE ENTRY PORTAL	TAYLOR	BRICK	ROYAL SALISBURY
10	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SW PURPLE TB2603C, SEMI-GLOSS
11	METAL PARAPET CAP	-	24GA GALVANIZED	SHERWIN WILLIAMS SW7076 "CYBERSPACE" KYNAR 500 COATING
12	CORNICE TRIM	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
13	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS

WEST ELEVATION



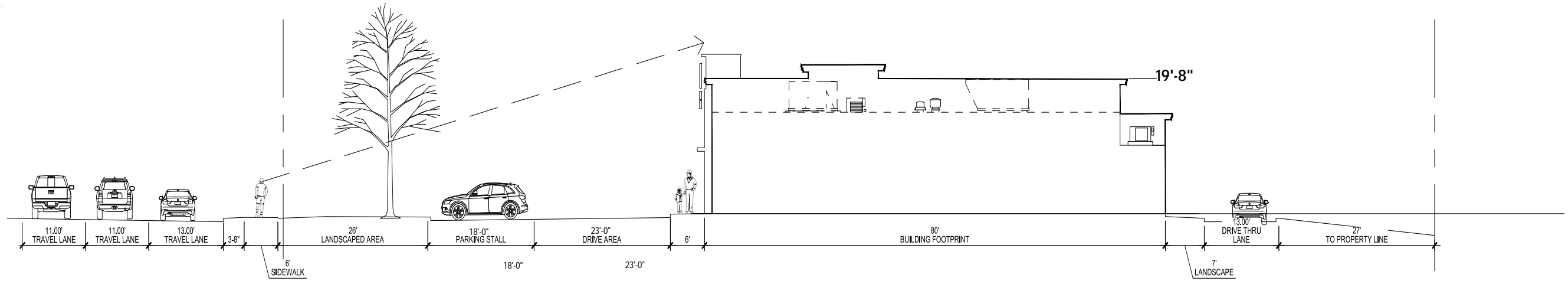
SYMBOL	AREA	MANUFACTURER	MATERIAL SPEC.	COLOR
1	FIELD BRICK	GLEN GERY	BRICK	BURN ALMOND
2	ACCENT BRICK	GLEN GERY	BRICK	RED CLIFF
3	DOWNSPOUTS	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
4	ACCENT BRICK	TAYLOR	BRICK	ROYAL SALISBURY
5	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" x 5 1/2"	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS
6	HOLLOW METAL DOOR	-	-	SW PURPLE TB2603C, SEMI-GLOSS
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR
8	CORNER TOWER	TAYLOR	BRICK	ROYAL SALISBURY
9	RECESS OF SIDE ENTRY PORTAL	TAYLOR	BRICK	ROYAL SALISBURY
10	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SW PURPLE TB2603C, SEMI-GLOSS
11	METAL PARAPET CAP	-	24GA GALVANIZED	SHERWIN WILLIAMS SW7076 "CYBERSPACE" KYNAR 500 COATING
12	CORNICE TRIM	-	-	SHERWIN WILLIAMS SW7043 "WORLDLY GRAY", SEMI-GLOSS
13	HARDIE PANEL	JAMES HARDIE	PANEL SYSTEM SMOOTH	SHERWIN WILLIAMS SW7076 "CYBERSPACE", SEMI-GLOSS

NORTH ELEVATION



3D PERSPECTIVE SOUTH/WEST SIDES





SIGHT-LINE DIAGRAM - VIEW PERSPECTIVE SHOWN IS FROM THE EAST SIDE OF THE BUILDING



SIGHT-LINE FOR ROOFTOP EQUIPMENT SCREENING



EXTERIOR ELEVATIONS



FRONT ENTRY / SOUTH ELEVATION



EAST ELEVATION



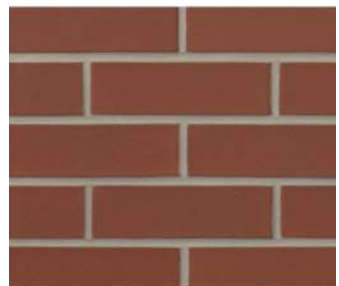
WEST ELEVATION



NORTH ELEVATION



B1 - GLEN GERY BURNT ALMOND



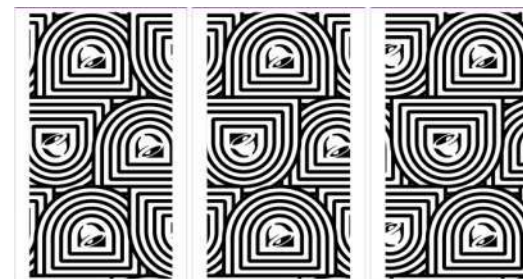
B2 - GLEN GERY RED CLIFF



B3 - TAYLOR ROYAL SALISBURY



P-1 TACO BELL PURPLE (PROPRIETARY COLOR)



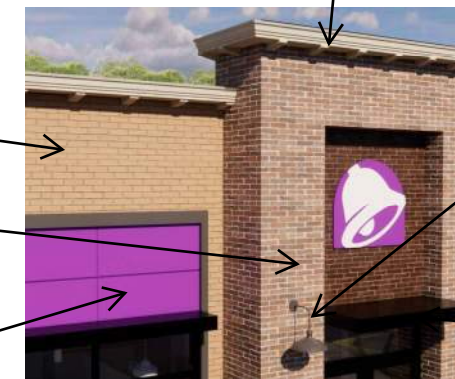
EXTERIOR ARTWORK PANELS

B-3



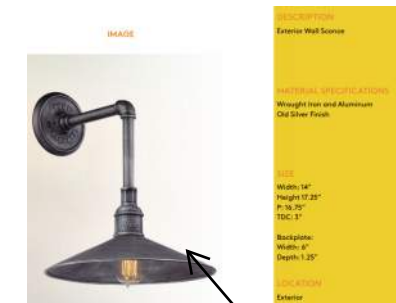
CORNICE DETAIL

B-1



B-2

P-1



EXTERIOR WALL SCNCE



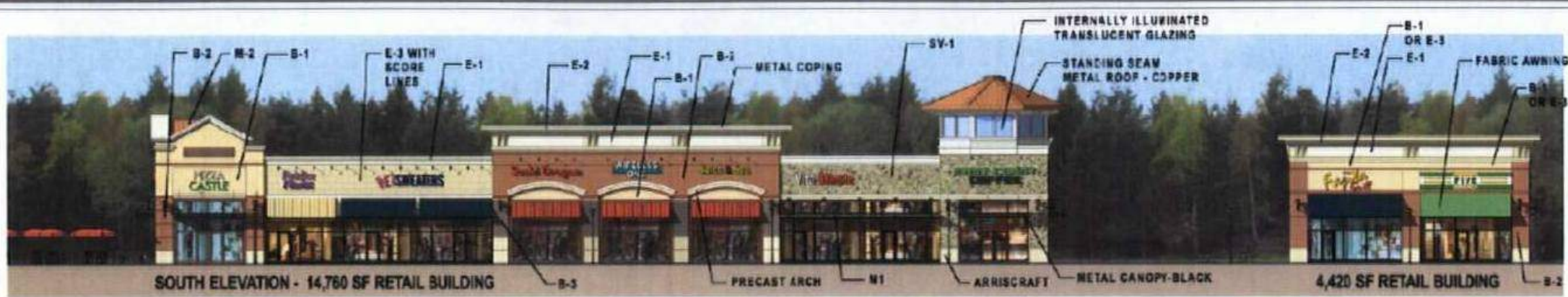
METAL EYEBROW CANOPY 6" HIGH



42" BELL
14" LETTERS
SIGN AREA: 24.4 SF
PROPOSED SIGNAGE



PATIO EQUIPMENT



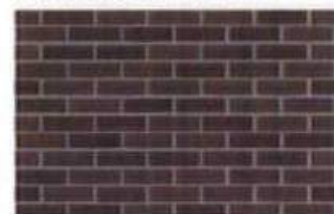
MATERIAL SELECTION



B-1 BRICK
GLEN GERY GRICK - BURNT ALMOND



B-2 BRICK
GLEN GERY BRICK - RED CLIFF



B-3 BRICK
TAYLOR - ROYAL SALISBURY

MORTAR - BUFF - LEHIGH #4704

COLORS MAY NOT REPRODUCE ACCURATELY.
REFER TO SAMPLES PROVIDED.



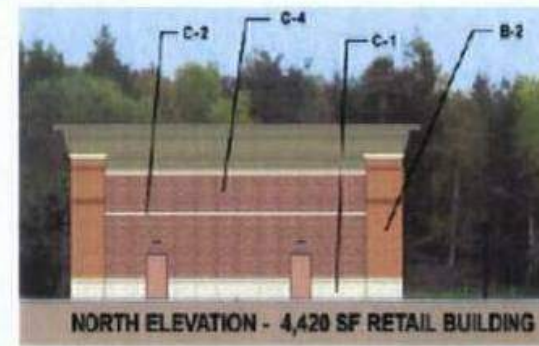
FABRIC AWNINGS - VARIOUS
COLORS AND PATTERNS ARE FOR ILLUSTRATION
ONLY AND ARE SUBJECT TO CHANGE



PRECAST CONCRETE - LIMESTONE



ARRISCRAFT RENAISSANCE - WHEAT



E-1 EIFS
DRYVIT #442 COTTON



E-2 EIFS
DRYVIT # 109 MANOR WHITE



E-3 EIFS
DRYVIT # 112 SANDLEWOOD BEIGE



C-1 SPLIT FACE CMU
BETCO SUPREME
BUFF # 5246



C-2 GROUND FACE CMU
BETCO SUPREME CMU
BUFF # 5246



C-3 SPLIT FACE CMU
BETCO SUPREME
WILLIAMSBURG RED



C-4 GROUND FACE CMU
BETCO SUPREME
WILLIAMSBURG RED



M-1 METAL - GREEN
COLOR TO MATCH
DREXMET
EVERGLADE MOSS



M-2 STANDING
SEAM METAL ROOF
COPPER METALLIC



M-3 STOREFRONT/
CANOPY
BLACK



M-4 STOREFRONT/COPING
TO MATCH KAWNEER
CHAMPAGNE #18



EIFS SCORING DETAIL



SY-1 ELDRADO STONE VENEER
FIELDSTONE



PROPOSED DUMPSTER GATES & ENCLOSURE TO
MATCH EXISTING SITE STYLE AND MATERIALS





- 
(A)
PATIO
RAIL
- 
(B)
PATIO
CHAIR
- 
(C)
PATIO
TABLE SINGLE
- 
(D)
PATIO
TABLE DOUBLE
- 
(E)
PATIO
TRASH ENCLOSURE
- 
(F)
PATIO
UMBRELLA
- 
(G)
BIKE
RACK

PATIO FURNITURE

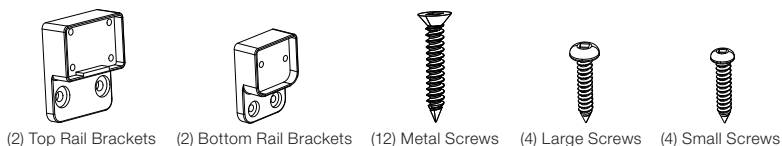
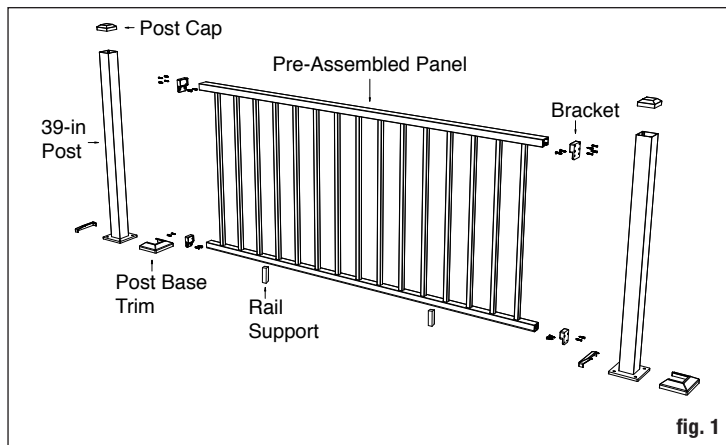
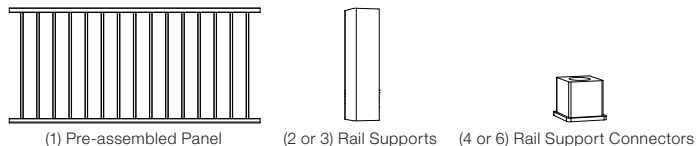
Items and Tools Needed

Parts included

- (1) Pre-assembled panel
- (2) Rail supports for 6ft
- (3) Rail supports for 8ft
- (4) Rail support connectors for 6ft
- (6) Rail support connectors for 8ft
- (4) Brackets with hardware
(Posts and stair rail kits sold separately)

Tools required

- Drill/power screwdriver
- Carpenter's pencil
- Rubber mallet
- Miter or circular saw with carbide tip blade
- Adjustable wrench or socket wrench for bolts, etc.
- Tape measure
- Marked speed square
- Safety glasses/goggles
- Lag screws



In-Line Railing Installation Instructions

Posts Installation

Prior to construction:

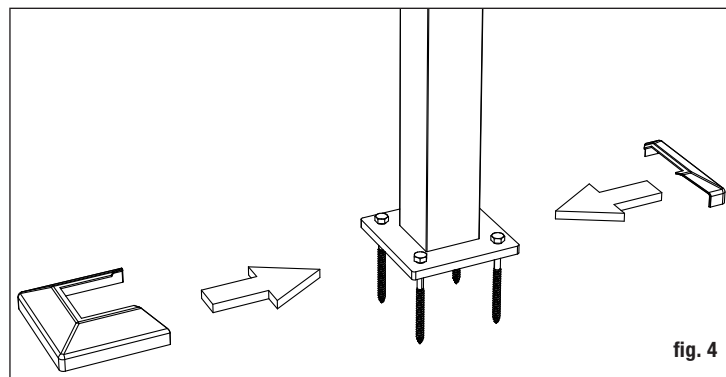
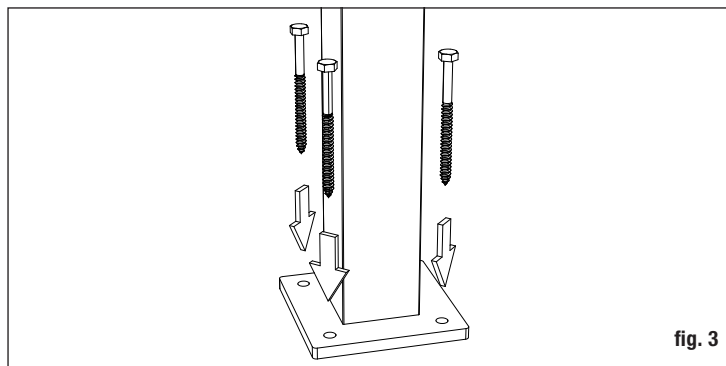
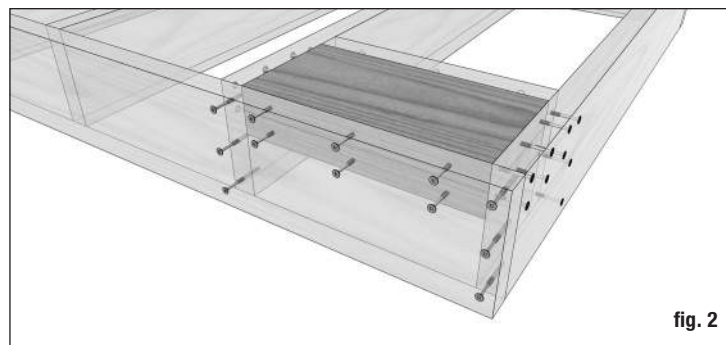
- Check with your local regulatory agency for special code requirements in your area. Common railing height is 36" or 42". Read instructions completely to get an understanding of how the product goes together and how each piece affects the other.
- Determine the number of railing posts needed for your deck. Post spacing is 6' or 8' on-center. Example: A 12' x 16' deck attached to a building with a 4' access opening on one side will need a total of eight posts. To minimize cutting, use as many full panels as possible.

Step 1: Install posts by attaching the aluminum base to the surface of the deck. Position the post so the fastener will go into the floor joist, and make sure the decking is firmly attached to the joist at the location of the posts. Proper structural blocking/framing under the decking material is required when attaching the post to a wood frame deck because decking alone is not approved as structural framing (fig. 2).

Step 2: Position the post assembly onto the location where it will attach to the deck. Four 3/8" diameter mounting holes are provided on the base. When the final position is determined, mark the base hole locations. Remove the post assembly and drill 15/64" holes in the marked locations through the decking and into structural blocking (fig. 3).

Step 3: Reposition the post assembly over the predrilled holes and insert the fasteners (**NOT INCLUDED**). Secure the base to the deck structure. Make certain the posts are plumb. *Note: Recommend 5/16" x 4" or longer lag screws. If the post requires adjustment, use shims to level post. If the post requires adjustment, use shims to level post.*

Step 4: Finish by sliding a post base trim (optional) over each post for a finished look (fig. 4).



IMAGE



DESCRIPTION

Exterior Aluminium Chair

MATERIAL SPECIFICATIONS

Legs:
Black PowderCoat

Body:
Black PowderCoat slats

SIZE

H = 28"

W = 22"

D = 20"

LOCATION

Exterior Patio- if applicable

OTHER DETAILS

Produced by Taco Bell approved furniture vendor

BUILDING DESIGN

Endeavor New & Remodels

REVISION DATE

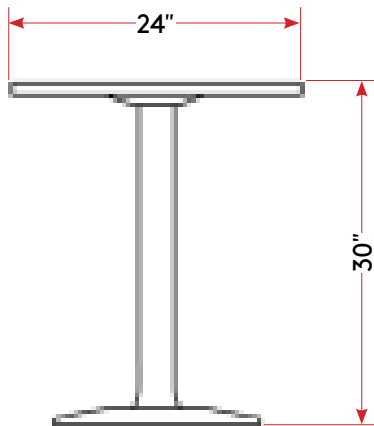
2020.09.23

Image shown NTS

IMAGE



DIMENSIONS



DESCRIPTION

Exterior Round Table

MATERIAL SPECIFICATIONS

Legs:
Black PowderCoat

Body:
Black PowderCoat slats

Plastic wood - look slats

SIZE

H = 30"

DIA = 24"

3" Base column

LOCATION

Exterior Patio- if applicable

OTHER DETAILS

Produced by Taco Bell approved furniture vendor

BUILDING DESIGN

Endeavor New & Remodels

REVISION DATE

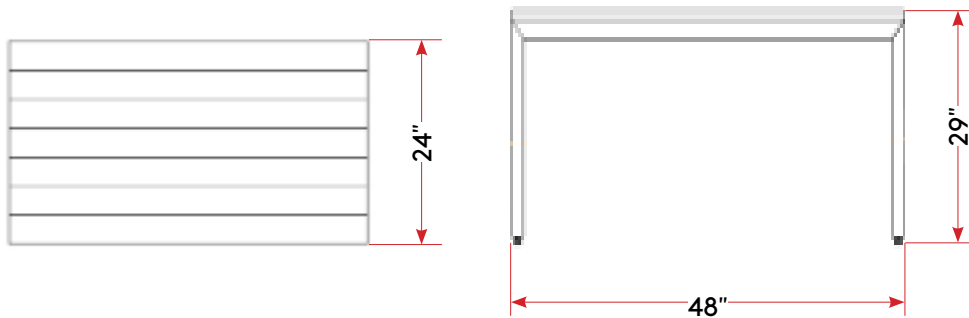
2020.09.23

Image shown NTS

IMAGE



DIMENSIONS



DESCRIPTION

Exterior Rectangle Table

MATERIAL SPECIFICATIONS

Legs:
Black PowderCoat

Body:
Black PowderCoat slats

Plastic wood - look slats

SIZE

H = 29"

W = 48"

D = 24"

LOCATION

Exterior Patio- if applicable

OTHER DETAILS

Produced by Taco Bell approved furniture vendor

BUILDING DESIGN

Endeavor New & Remodels

REVISION DATE

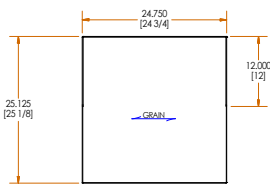
2020.09.23

Image shown NTS

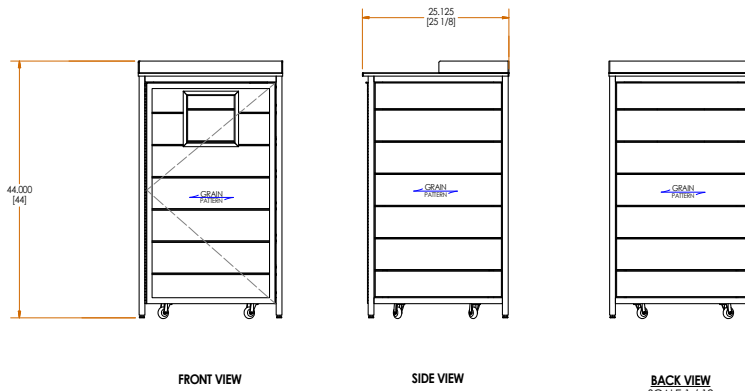
IMAGE



DIMENSIONS



TOP VIEW



FRONT VIEW

SIDE VIEW

BACK VIEW
GRAIN TO THE RIGHT

Image shown NTS

DESCRIPTION

Single-entry trash enclosure exterior grade

MATERIAL SPECIFICATIONS

Legs:
Black PowderCoat

Body:
Wood, Deckorators

Top:
Metal- stainless steel

SIZE

H = 44"
W = 46.75"
D = 24"

LOCATION

Exterior

OTHER DETAILS

Produced by Taco Bell approved furniture vendor

BUILDING DESIGN

Endeavor

REVISION DATE

2020.08.11

Parasol platform: Bay Master MAX

For Medium Patios



Bay Master MAX Classic Square

Frame Construction:

- Satin Anodized Marine Grade finish
- TUUCI' s Patented Independent Bracket Hub System
- Armor Wall Mast
- Stainless Steel Hardware
- Modular Design Allows for Easy Parts Replacement
- Manual lift System
- SKU: UTBBMX10.OSQ

Canopy Construction:

- Sunbrella® 100% Solution Dyed Acrylic Fabric – CONCORD 6065
- Ballistic-Reinforced Vent and Pocket Construction
- Market Profile Canopy
- Canopy with Vent
- **5 Year Warranty****

Sizes Available

10' Square



Shade Anchoring System for MAX:

For Bay Master MAX & Ocean Master MAX



In-Ground Bases

In Ground Security Mount
New Pour Concrete:



In Ground 9" x 9" Base Plate
Existing Concrete

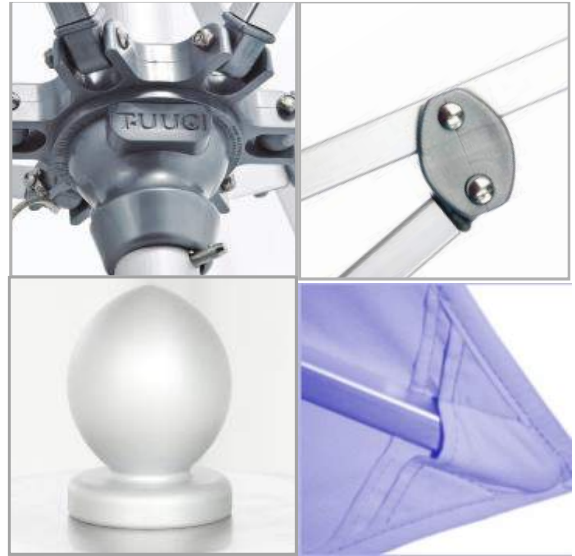
Above Ground Base

Galvanized Steel Double Stack Plates
280 lbs. (For 8'SQ, 10' SQ)
400 lbs. (For 12' SQ, 8X12' RECT, and 10'X14' REC)



Parasol platform: Bay Master Classic

For Small Patios



Bay Master Classic Square

Frame Construction:

Satin Anodized Marine Grade finish
TUUCI's Patented Independent Bracket Hub System
Stainless Steel Hardware
Modular Design Allows for Easy Parts Replacement
Armor Wall Mast, 8 ribs
Manual lift with a pin

Canopy Construction:

Sunbrella® 100% Solution Dyed Acrylic Fabric – CONCORD 6065
Ballistic-Reinforced Vent and Pocket Construction
Market Profile Canopy
Canopy with Vent

Size:

8.5' Square

****3 Year Warranty****



Shade Anchoring System for Classic:

(1.5" center pole)



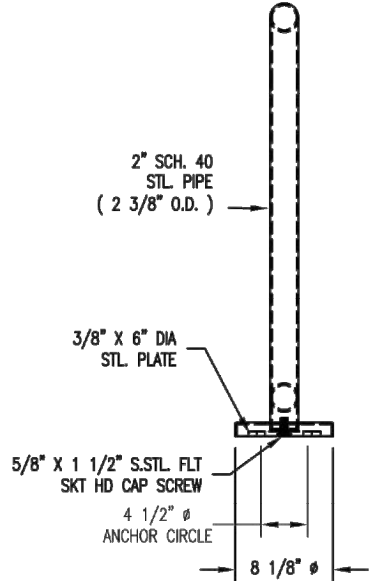
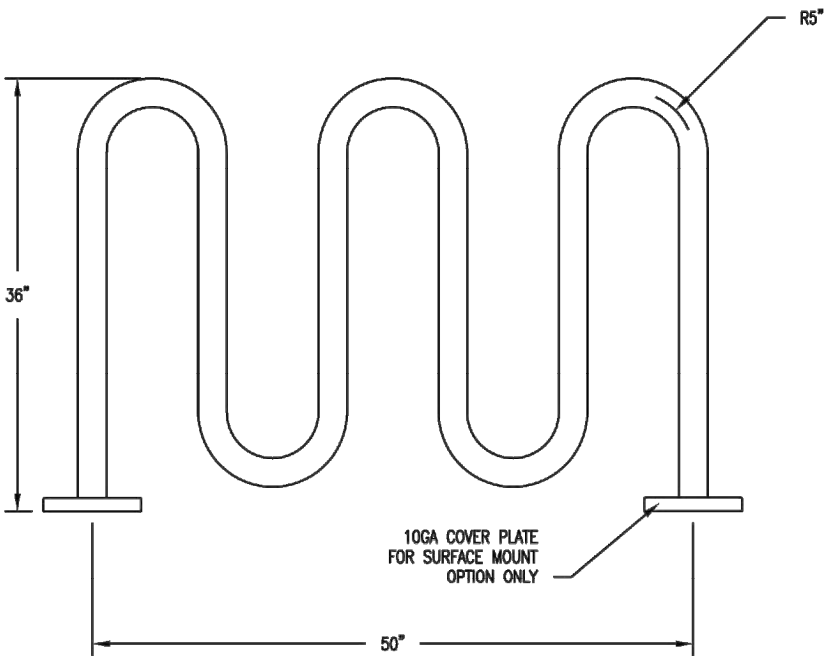
In Ground BASE:

In Ground Flush Mount
Concrete

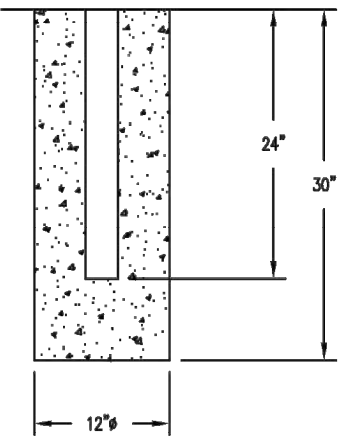


Above Ground BASE:

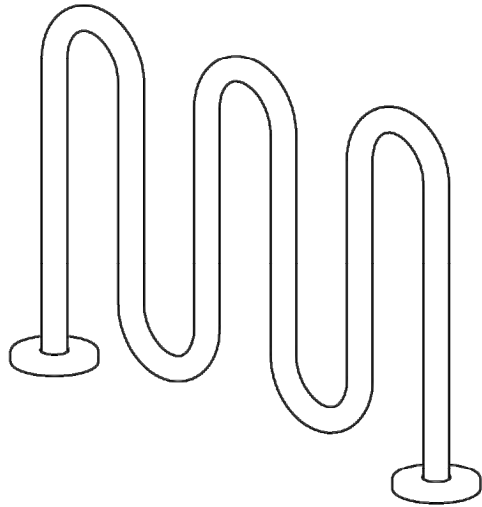
Galvanized Steel Plate
140 lbs. (For the 8.5' SQ)



* S-2 SURFACE MOUNT *
(SEE NOTES)



S-1 EMBEDMENT



FINISH OPTIONS

- HOT DIPPED GALVANIZED (VISIBLE VENT HOLES)
- COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.

NOTES:

- 1.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED FOR OPTION S-2.
 - 2.) PLUGS PROVIDED FOR VISIBLE VENT HOLES. (HOT DIPPED GALV. ONLY)
- * UPCHARGE APPLIES TO SUPPORT OPTION - CONSULT YOUR LOCAL REPRESENTATIVE.

DuMor, inc.
P.O. Box 142 Mifflintown, PA 17059-0142

SCALE :	NONE
DATE DRAWN :	1/6/11
DRAWN BY :	JSB
DATE REV. :	
REV. BY :	

TITLE :		BIKE RACK	
REV.	DRAWING NUMBER	130-30	SHEET
A			1 OF 2