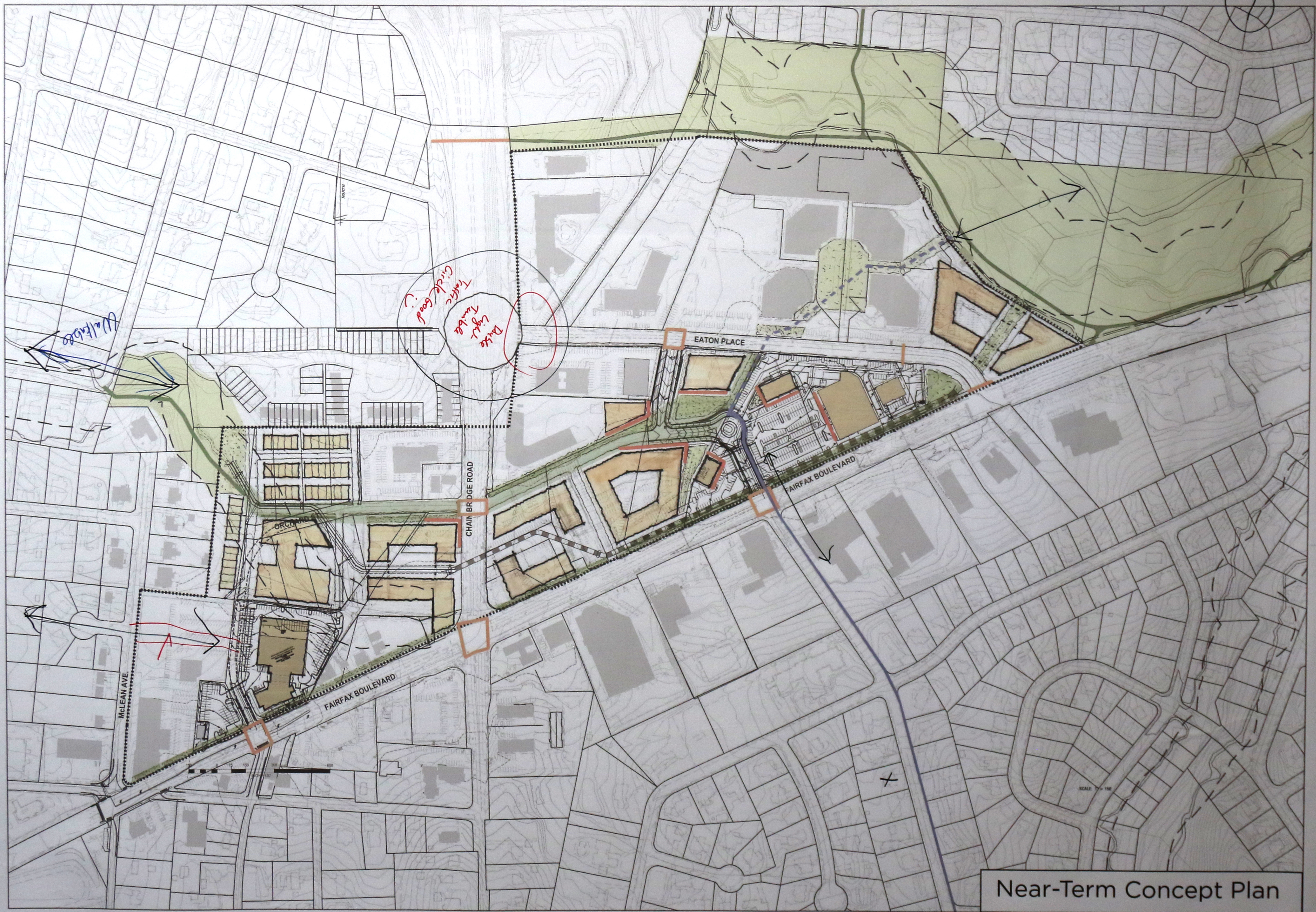
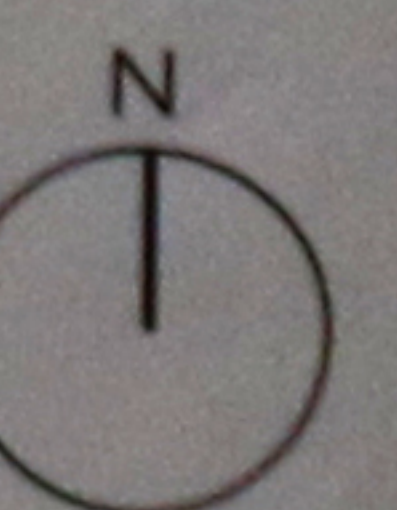




Near-Term Concept Plan



7

Northfax Activity Center

Community Meeting Jan 30, 2020

- > Higher density → More room for green space
- > Lack of modern / Class A office space
- > Value in working natural features into built space
- > Creating a walkable destination (e.g. Mosaic)
- > Difficulty of accessing older office spaces across from Best Western
- > Complexity of intersection @ Eaton Pl & CBR
- > Lack of pedestrian connections to neighborhoods
- > Changing work conditions (live-work, telework)
 - Introducing new mixed-use w/o negatively affecting existing neighborhoods
- > Weakness of office market
- > Aging population approaching retirement
 - Increasing demand for assisted living
- > Consistently increasing property value generally
 - concern that changes could negatively affect property values
- > Increases to traffic as result of new development
- > Pass-through traffic on Fairfax Blvd
- > Concern that location won't be appealing to older citizens b/c of high activity level
- > Opportunity for shuttles to metro w/ new developments
- > People want to be outside
- > Working nature into design will make it attractive & unique
- > Value in using roundabouts

Shared work spaces

⑦

- * Difficulty & long duration of property consolidation
- > Value in creating a concept for an "ideal" condition ~ 50 years
- > Insider-out value creation. Start @ center & development will hopefully work outwards
- > Preserve green spaces that exist
- * Creation of gridded street network

- Connectivity to neighborhoods outside of study area.

- More height allows for more green space.